



NOTICE OF MEETING

City Council Meeting

Tuesday, June 21, 2016 7:00 P.M.

City of Lake Elmo | 3800 Laverne Avenue North

Agenda

A. Call to Order/Pledge of Allegiance

B. Approval of Agenda

C. Approval of Minutes

1. May 3, 2016; June 14, 2016

D. Public Comments/Inquiries

E. Presentations

F. Consent Agenda

2. Approve Payment of Disbursements
3. Accept May 2016 Financial Statements
4. Accept May 2016 Assessor's Report
5. Accept May 2016 Building Department Report
6. Approve 2016 Non-Represented Pay Adjustments
7. Downtown Phase 1 Improvements – Approve Cooperative Agreement Payment No. 2
8. Downtown Phase 2 Improvements – CO#1 Sewer Alignment Revisions along Lake Elmo Avenue.
9. CSAH 15 & 10th Street Intersection – Approve Cooperative Agreement Payment No. 1
10. 2016 Street, Drainage, and Utility Improvements – Pay Request No. 1
11. Inwood Trunk Watermain Improvements – Pay Request No. 2
12. Inwood Booster Station – Pay Request No. 1
- ~~13. Adopt Policy to Allow Local SAC to be Specially Assessed~~ *removed by staff*
14. 2016 Street Full Depth Patching – Accept Bids and Award Contract
15. Approve Fish House Ordinance
16. Approve Exception to Accessory Structures in Front Yard – Resolution 2016-43
17. Approve Amending the Comprehensive Land Use Plan Planned Land Use Category for Rural Single Family Such That The City Council Can Allow Connection To The Sanitary Sewer System Where Practical –
Resolution 2016-50
18. Section 34 Water Pressure Investigation – Approve Task Order No. 7
19. Hazardous Building Order, 8004 50th St-Adopt Resolution 2016-48
20. Nuisance Property Abatement Order, 8139 38th St-Adopt Resolution 2016-49
21. Authorize RFP for Information Technology Services
22. Amend Budget Schedule
23. Request Summary of all Recommendations from the Finance Director in Conjunction with the Finance Committee Related to the Old Village Downtown Improvement Project
24. Amending the Wastewater Treatment System Ordinance to Extend the Time for Connection

G. Regular Agenda

25. Presentation and Acceptance of 2015 Comprehensive Annual Financial Report
26. Parliamentarian Contract
27. Tablyn Park Improvements

28. 5th Street Irrigation Requirements
29. MS4 Program – Public Meeting and Approve Annual Report
30. Call for Public Hearing for Moratorium Extension
31. Lot Coverage Requirements as they Relate to Pools
32. Rejoining Washington County Library System as a Branch Library
33. Wastewater Incentive Program

H. Council Reports

I. Staff Reports and Announcements

J. Adjourn



MAYOR & COUNCIL COMMUNICATION

DATE: June 21, 2016
CONSENT
ITEM #2
MOTION

AGENDA ITEM: Approve Disbursements in the amount of \$6,443,506.35

SUBMITTED BY: Patty Baker, Accountant

THROUGH: Cathy Bendel, Finance Director

REVIEWED BY: Cathy Bendel, Finance Director

SUGGESTED ORDER OF BUSINESS:

- Introduction of Item City Administrator
- Report/Presentation.....City Administrator
- Questions from Council to Staff..... Mayor Facilitates
- Call for Motion Mayor & City Council
- Discussion..... Mayor & City Council
- Action on Motion..... Mayor Facilitates

POLICY RECOMMENDER: Finance

FISCAL IMPACT: \$6,443,506.35

SUMMARY AND ACTION REQUESTED: As part of its Consent Agenda, the City Council is asked to approve disbursements in the amount of \$6,443,506.35. No specific motion is needed as this is recommended to be part of the *Consent Agenda*.

LEGISLATIVE HISTORY: NA

Invoice #	Inv Date	Amount	Quantity	Pmt Date	Description	Reference	Task	Type	PO #	Close POLine #
	38969 Total:	10,825.00								
	SMITHSCH Total:	10,825.00								
SPRINT Sprint										
761950227-158	05/18/2016	59.42	0.00	05/31/2016	Admin		-		No	0000
101-410-1940-43210	Telephone									
761950227-158	05/18/2016	219.44	0.00	05/31/2016	Fire		-		No	0000
101-420-2220-43210	Telephone									
761950227-158	05/18/2016	98.42	0.00	05/31/2016	Building		-		No	0000
101-420-2400-43210	Telephone									
761950227-158	05/18/2016	118.05	0.00	05/31/2016	PW		-		No	0000
101-430-3100-43210	Telephone									
761950227-158	05/18/2016	93.10	0.00	05/31/2016	Parks		-		No	0000
101-450-5200-43210	Telephone									
761950227-158	05/18/2016	14.79	0.00	05/31/2016	Planning		-		No	0000
101-410-1910-43210	Telephone									
	761950227-158 Total:	603.22								
	SPRINT Total:	603.22								
TCHYDROS TC Hydroseeding										
5012	05/16/2016	1,200.00	0.00	05/31/2016	Pebble Park Shelter Restoration		-		No	0000
404-480-8000-45300	Improvements Other Than Bldgs									
	5012 Total:	1,200.00								
	TCHYDROS Total:	1,200.00								
TDS TDS Metrocom - LLC										
6517798882	05/13/2016	90.97	0.00	05/31/2016	Analog - Fire		-		No	0000
101-420-2220-43210	Telephone									
6517798882	05/13/2016	211.67	0.00	05/31/2016	Analog - PW		-		No	0000
101-430-3100-43210	Telephone									
6517798882	05/13/2016	84.02	0.00	05/31/2016	Analog - Lift Station Alarms		-		No	0000
602-495-9450-43210	Telephone									
6517798882	05/13/2016	44.01	0.00	05/31/2016	Alarm - Well House 1		-		No	0000
601-494-9400-43210	Telephone									
	6517798882 Total:	430.67								
	TDS Total:	430.67								
TESSMAN Tessman Company Corp										
Credit Memo	05/12/2016	-191.50	0.00	05/31/2016	Lawn chemicals		-		No	0000
101-450-5200-42160	Chemicals									
	Credit Memo Total:	-191.50								



MAYOR & COUNCIL COMMUNICATION

DATE: June 21, 2016
CONSENT
ITEM #3
MOTION

AGENDA ITEM: May 2016 Financial Reporting

SUBMITTED BY: Cathy Bendel, Finance Director

THROUGH: Cathy Bendel, Finance Director

REVIEWED BY: Kristina Handt, City Administrator

SUGGESTED ORDER OF BUSINESS:

- Introduction of Item.....City Administrator
- Report/Presentation.....City Administrator
- Questions from Council to Staff Mayor Facilitates
- Call for Motion Mayor & City Council
- Discussion..... Mayor & City Council
- Action on Motion..... Mayor Facilitates

POLICY RECOMMENDER: Finance

FISCAL IMPACT: NA

SUMMARY AND ACTION REQUESTED: As part of its Consent Agenda, the City Council is asked to accept the May 2016 Financial Reporting Packet. No specific motion is needed as this is recommended to be part of the overall approval of the *Consent Agenda*.

BACKGROUND INFORMATION: The City of Lake Elmo has fiduciary authority and responsibility to conduct normal business operations and report the financial (unaudited) statement to the City Council. City guidelines suggest the Council be updated on a regular basis.

STAFF REPORT: Attached please find the comparative financial statements for the month of May 2016 reflecting the monthly and year to date detail, comparing the actual results to the 2016 Budget.

GENERAL FUND:

Revenues:

Total revenue for the month was 9.7% above budget for the month bringing the year to date to 57.4% better than budget. The most significant budget to actual revenue variances are as follows:

- Building Permit revenue was 34.8% above budget for the month bringing the year to date revenue at 73.1% better budget. This is primarily due to the nice weather allowing for building activity beginning months earlier than anticipated in the 2016 budget. There were 19 new homes permitted in May bringing the year to date number of new homes to 98.
- Heating permits far exceeded budget by \$23.1k for the month and \$59.3k year to date. This is primarily due to revenue generated on the ISD 916 project which the City was able to retain due to the new Building Official having the required certifications.
- Plan check fee revenue was 56.3% above budget for the month bringing the year to date revenue to 73.3% better than budget for the same reasons mentioned related to building permit revenue.

Expenses:

Total expenses for the month were 25.9% above budget for May bringing the year to date expenses to 1.9% lower than budget.

The following summarizes variances of note:

General:

- General Government expenses were 49.9% higher than budget for the month bringing the year to date expenses to 27.5% higher than budget. This was primarily due legal expenses far exceeding budget and the 3M litigation costs were the cause. In addition, the second half billing for the annual audit was invoiced and paid in May rather than April as budgeted.
- Total Public Safety expenses were 26.0% lower than budget for the month bringing the year to date expenses to 16.6% lower than budget. This was primarily due to the Fire Department not incurring building repair expenses as budgeted as well as the Building Official functions being covered by a contract inspector at a lower cost as mentioned last month.
- Public Works – The total Public Works expenses were 77.3% higher than budget for the month bringing year to date expenses to 4.3% better than budget. This is primarily due

to the Seal Coating and Cracking filling to have started earlier in the season due to mild weather. This expense was budgeted later in the year.

In summary, the May revenues were 9.7% better than budget and the expenses were 25.9% higher than budget resulting in a net income of 68.5% less than budget. On a year to date basis, the revenues are 57.4% above budget and the expenses were 1.9% less than budget resulting in a net income of 45.0% better than budget year to date.

LIBRARY FUND:

The net income for the Library Fund for the month was \$3.6k over budget (20.7%) bringing the year to date to \$56.5 better than budget. The ending cash balance as of the end of May is \$167.5k.

RECOMMENDATION: Based on the aforementioned, the staff recommends the City Council accept the attached May Financial Report.

ATTACHMENT:

1. May Financial Reports

2015 By Month

Budget to Actual Comparative

For the month ending May 31, 2016

101-General Fund Summary

By Department

DEPT 410 - GEN'L GOV'T	Full Year BUDGET 2016	% to date	MONTH				YTD			
			BUDGET Month	ACTUAL Month	Variance (\$) Month	Variance (%) Month	BUDGET YTD	ACTUAL YTD	Variance (\$) YTD	Variance (%) YTD
Total Revenue	3,485,514.32	20.70%	138,555.00	152,034.72	13,479.72	9.73%	458,413.00	721,463.76	263,050.76	57.38%
EXPENSE										
Total Mayor & Council	45,955.32	42.63%	1,000.00	5,682.28	(4,682.28)	-468.23%	10,375.00	19,591.56	(9,216.56)	-88.83%
Total Administration	360,997.50	78.25%	30,818.66	45,474.06	(14,655.40)	-47.55%	169,580.09	282,486.39	(112,906.30)	-66.58%
Total Elections	15,800.00	7.59%	0.00	0.00	0.00	0.00%	950.00	1,200.00	(250.00)	-26.32%
Total Finance	124,835.30	49.50%	7,123.28	18,487.82	(11,364.54)	-159.54%	65,740.53	61,798.10	3,942.43	6.00%
Total Planning & Zoning	284,682.35	37.56%	17,806.72	22,677.88	(4,871.16)	-27.36%	108,244.46	106,930.46	1,314.00	1.21%
Total Engineering Services	48,000.00	25.44%	4,000.00	1,640.00	2,360.00	59.00%	20,000.00	12,211.23	7,788.77	38.94%
Total City Hall	55,082.00	42.32%	4,461.00	3,832.51	628.49	14.09%	23,080.00	23,308.89	(228.89)	-0.99%
Total General Government	935,352.47	54.26%	65,209.66	97,794.55	(32,584.89)	-49.97%	397,970.08	507,526.63	(109,556.55)	-27.53%
DEPT 420 - PUBLIC SAFETY										
Total Police	527,060.47	0.12%	0.00	0.00	0.00	0.00%	0.00	634.22	(634.22)	-100.00%
Total Prosecution	54,700.00	34.66%	4,500.00	3,500.00	1,000.00	22.22%	22,800.00	18,960.18	3,839.82	16.84%
Total Fire	377,231.71	38.23%	28,847.07	20,277.17	8,569.90	29.71%	170,569.40	144,218.97	26,350.43	15.45%
Total Fire Relief	37,323.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%
Total Building Inspections	260,765.91	34.64%	19,590.08	15,314.63	4,275.45	21.82%	109,940.38	90,318.82	19,621.56	17.85%
Total Emergency Communications	7,400.00	0.00%	0.00	0.00	0.00	0.00%	1,850.00	0.00	1,850.00	100.00%
Total Animal Control	7,550.00	39.14%	600.00	525.00	75.00	12.50%	3,000.00	2,955.00	45.00	1.50%
Total Public Safety	1,272,031.09	20.03%	53,537.15	39,616.80	13,920.35	26.00%	308,159.78	257,087.19	51,072.59	16.57%

	MONTH				YTD				
	BUDGET	ACTUAL	Variance (\$)	Variance (%)	BUDGET	ACTUAL	Variance (\$)	Variance (%)	
	Month	Month	Month	Month	YTD	YTD	YTD	YTD	
DEPT 430 - PUBLIC WORKS									
Total Public Works	411,284.53	26,471.50	29,018.11	(2,546.61)	-9.62%	189,248.26	196,870.37	(7,622.11)	-4.03%
Total Streets	413,000.00	5,760.00	31,386.35	(25,626.35)	-444.90%	14,300.00	36,037.21	(21,737.21)	-152.01%
Total Ice & Snow Removal	87,250.00	1,000.00	0.00	1,000.00	100.00%	42,500.00	4,655.87	37,844.13	89.05%
Total Street Lighting	26,400.00	2,200.00	2,139.88	60.12	2.73%	11,000.00	10,442.69	557.31	5.07%
Total Recycling	5,900.00	200.00	0.00	200.00	100.00%	2,750.00	0.00	2,750.00	100.00%
Total Tree Program	1,000.00	0.00	614.50	(614.50)	-100.00%	0.00	614.50	(614.50)	-100.00%
Total Public Works	944,834.53	35,631.50	63,158.84	(27,527.34)	-77.26%	259,798.26	248,620.64	11,177.62	4.30%
DEPT 450 - CULTURE, RECREATION									
Total Parks & Recreation	231,320.23	17,349.09	17,289.39	59.70	0.34%	102,277.02	75,420.03	26,856.99	26.26%
IT & Telephone	81,976.00	5,900.00	5,659.91	240.09	4.07%	37,656.00	35,563.98	2,092.02	5.56%
GRAND TOTAL ALL EXPENSES	<u>3,465,514.32</u>	<u>177,627.40</u>	<u>217,859.58</u>	<u>(46,132.18)</u>	<u>-25.97%</u>	<u>1,105,861.14</u>	<u>1,088,654.49</u>	<u>(20,449.35)</u>	<u>-1.85%</u>
SUB TOTAL NET INC OVER EXP	<u>20,000.00</u>	<u>(39,072.40)</u>	<u>(65,824.86)</u>	<u>(32,652.46)</u>	<u>-83.57%</u>	<u>(647,448.14)</u>	<u>(367,190.73)</u>	<u>242,601.41</u>	<u>-37.47%</u>
DEPT 460 - COMP ADJ	20,000.00	0.00	0.00	0.00	0.00%	20,000.00	0.00	20,000.00	100.00%
DEPT 490 - CONTINGENCY FUND	0.00	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%
Debt Service increase	0.00	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%
DEPT 493 - OTH FINANCING	0.00	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%
GRAND TOTAL ALL DEPTS	<u>3,485,514.32</u>	<u>177,627.40</u>	<u>217,859.58</u>	<u>(46,132.18)</u>	<u>-25.97%</u>	<u>1,125,861.14</u>	<u>1,088,654.49</u>	<u>(449.35)</u>	<u>-0.04%</u>
Net Income over Expenses	<u>0.00</u>	<u>(39,072.40)</u>	<u>(65,824.86)</u>	<u>(26,752.46)</u>	<u>-68.47%</u>	<u>(667,448.14)</u>	<u>(367,190.73)</u>	<u>300,257.41</u>	<u>44.99%</u>

2015 By Month
 Budget to Actual Comparative
 For the month ending May 31, 2016
 101-General Fund Detail
 By Department

DEPT 410 - GENL GOV	Full Year BUDGET 2016	% to date	MONTH						YTD						YTD variance notes			
			BUDGET		ACTUAL		Variance (\$)		BUDGET		ACTUAL		Variance (\$)					
			Month	Month	Month	Month	Month	Month	YTD	YTD	YTD	YTD	YTD	YTD				
REVENUE																		
Current Ad Valorem Taxes	2,033,198.00	0.11%	0.00	0.00	0.00	0.00%	0.00	2,139.46	2,139.46	100.00%								Pmt from WA Cty related to a tax forfeit parcel
Delinquent Ad Valorem Taxes	15,000.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%								
Mobile Home Tax	12,000.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%								
Fiscal Disparities	157,508.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%								
Penalty & Interest on Taxes	700.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%								
Liquor License	11,000.00	61.82%	0.00	0.00	0.00	0.00%	8,000.00	6,800.00	(1,200.00)	-15.00%								
Wastewater License	1,680.00	0.00%	0.00	0.00	0.00	0.00%	840.00	0.00	(840.00)	-100.00%								
General Contractor License	0.00	100.00%	0.00	0.00	0.00	0.00%	0.00	150.00	150.00	100.00%								
Heating Contractor License	2,500.00	0.00%	200.00	300.00	100.00	50.00%	1,100.00	1,800.00	700.00	63.64%								
Building Permits	508,200.00	59.61%	50,000.00	67,421.20	17,421.20	34.84%	175,000.00	302,936.88	127,936.88	73.11%								Reflects fees from 98 new homes and 11 new commercial units
Building Re-inspect Fees	0.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%								
Heating Permits	38,000.00	156.01%	3,500.00	26,576.92	23,076.92	659.34%	12,000.00	59,285.42	47,285.42	394.05%								
Plumbing Permits	46,800.00	67.61%	3,400.00	7,740.00	4,340.00	127.65%	15,500.00	31,642.00	16,142.00	104.14%								
Animal License	2,500.00	54.00%	40.00	190.00	150.00	375.00%	2,220.00	1,350.00	(870.00)	-39.19%								
Utility Permits (ROW)	25,000.00	95.39%	3,000.00	0.00	(3,000.00)	-100.00%	4,500.00	23,847.20	19,347.20	429.94%								No ROW permits issued in May
Burning Permit	2,750.00	55.09%	0.00	135.00	135.00	100.00%	500.00	1,515.00	1,015.00	203.00%								
Massage Therapy Licenses	150.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%								
MSA-Maintenance	101,696.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%								
State Fire Aid	41,500.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%								
PERA Aid	2,749.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%								
Recycling Grant	15,500.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%								
Misc State Grant/Surcharge Rev	5,064.00	1292.10%	0.00	0.00	0.00	0.00%	51,098.00	65,432.09	14,334.09	28.05%								
Cable Franchise Revenue	45,000.00	0.00%	45,000.00	0.00	(45,000.00)	-100.00%	45,000.00	0.00	(45,000.00)	-100.00%								
Zoning & Subdivision Fees	27,500.00	33.27%	3,000.00	250.00	(2,750.00)	-91.67%	7,000.00	9,150.00	2,150.00	30.71%								
Plan Check Fees	278,129.00	63.56%	26,000.00	40,625.95	14,625.95	56.25%	102,000.00	176,774.50	74,774.50	73.31%								Reflects fees from 98 new homes and 11 new commercial units
Sale of Copies, Books, Maps	175.00	58.19%	15.00	45.50	30.50	203.33%	35.00	101.84	66.84	190.97%								
Assessment Searches	1,215.00	120.99%	100.00	525.00	425.00	425.00%	220.00	1,470.00	1,250.00	568.18%								
Clean Up Days	2,000.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%								
Cable Operation Reimbursement	4,000.00	27.63%	0.00	1,105.00	1,105.00	100.00%	1,000.00	1,105.00	105.00	-100.00%								
Fines	45,000.00	50.28%	4,000.00	4,404.37	404.37	10.11%	18,500.00	22,627.15	4,127.15	22.31%								
Miscellaneous Permits	0.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%								
Fire Billable Revenue	500.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%								
Miscellaneous Revenue	3,500.00	95.35%	300.00	2,715.78	2,415.78	805.26%	1,400.00	3,337.22	1,937.22	138.37%								
Interest Earnings	55,000.00	0.00%	0.00	0.00	0.00	0.00%	12,500.00	0.00	(12,500.00)	-100.00%								
Donations	0.00	100.00%	0.00	0.00	0.00	0.00%	0.00	10,000.00	10,000.00	100.00%								
Total Revenue	3,485,514.00	20.70%	138,555.00	152,034.72	13,479.72	9.73%	458,413.00	771,463.76	263,050.76	57.38%								

EXPENSE	Full Year		MONTH				YTD				
	BUDGET	% to date	BUDGET	ACTUAL	Variance (\$)	Variance (%)	BUDGET	ACTUAL	Variance (\$)	Variance (%)	
	2016		Month	Month	Month	Month	YTD	YTD	YTD	YTD	
1110 - Mayor & Council											
PT Salaries	25,690.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%	
FICA Contributions	1,592.78	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%	
Medicare Contributions	372.54	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%	
Workers Compensation	300.00	2.63%	0.00	0.00	0.00	0.00%	0.00	7.90	(7.90)	-100.00%	YTD reflects correction to allocate final YE billing to all depts
Mileage	500.00	0.00%	0.00	0.00	0.00	0.00%	125.00	0.00	125.00	100.00%	
Miscellaneous	5,000.00	150.04%	0.00	0.00	0.00	0.00%	5,000.00	7,502.06	(2,502.06)	-50.04%	
Dues & Subscriptions	11,000.00	105.06%	1,000.00	5,682.28	(4,682.28)	-468.23%	5,000.00	12,081.60	(7,081.60)	-141.65%	2016 share of LMC annual Pmt made in Sept 2015 plus Metro
Conferences & Training	1,000.00	0.00%	0.00	0.00	0.00	0.00%	250.00	0.00	250.00	100.00%	budgeted later in the year
Total Mayor & Council	45,955.32	42.63%	1,000.00	5,682.28	(4,682.28)	-468.23%	10,375.00	19,591.56	(9,216.56)	-88.83%	
1320 - Administration											
FT Salaries	145,000.00	57.86%	11,153.85	16,009.24	(4,855.39)	-43.53%	61,346.15	83,893.55	(22,547.40)	-36.75%	
PERA Contributions	10,875.00	52.77%	836.54	1,200.70	(364.16)	-43.53%	4,600.96	5,738.45	(1,137.49)	-24.72%	May reflects cross over time with interim and new City Administrator as well as the payout of remaining PTO to the interim
ICMA Contributions	0.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%	
FICA Contributions	8,990.00	55.29%	691.54	940.66	(249.12)	-36.02%	3,803.46	4,970.17	(1,166.71)	-30.67%	
Medicare Contributions	2,102.50	55.27%	161.73	219.66	(57.93)	-35.82%	889.52	1,162.03	(272.51)	-30.64%	
Health/Dental Insurance	30,550.00	39.18%	2,350.00	2,176.00	174.00	7.40%	12,925.00	11,968.00	957.00	7.40%	
Unemployment Benefits	0.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%	
Workers Compensation	1,140.00	72.81%	0.00	0.00	0.00	0.00%	1,140.00	829.98	310.02	27.19%	YTD reflects correction to allocate final YE billing to all depts
Office Supplies	5,800.00	41.98%	475.00	105.53	369.47	77.78%	2,375.00	2,435.06	(60.06)	-2.53%	
Printed Forms	0.00	100.00%	0.00	0.00	0.00	0.00%	0.00	771.32	(771.32)	-100.00%	
Legal Services	60,000.00	203.80%	5,000.00	20,000.00	(15,000.00)	-300.00%	25,000.00	122,280.71	(97,280.71)	-389.12%	May is an accrual; YTD includes \$46k related to 3M litigation
Newsletter/Website	8,000.00	0.00%	0.00	0.00	0.00	0.00%	2,000.00	0.00	2,000.00	100.00%	
Assessing Services	38,000.00	32.89%	8,500.00	2,500.00	6,000.00	70.59%	18,500.00	12,500.00	6,000.00	32.43%	
Contract Services	0.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%	
Postage	2,000.00	77.04%	0.00	516.35	(516.35)	-100.00%	500.00	1,540.75	(1,040.75)	-208.15%	
Mileage	550.00	8.79%	50.00	48.32	1.68	3.36%	200.00	48.32	151.68	75.84%	
Legal Publishing	10,040.00	40.72%	800.00	958.60	(158.60)	-19.83%	3,950.00	4,088.37	(138.37)	-3.50%	
Insurance	28,000.00	93.29%	0.00	0.00	0.00	0.00%	28,000.00	26,121.00	1,879.00	6.71%	Annual insurance budgeted in Jan but not billed until late Feb
Cable Operation Expense	4,800.00	34.90%	400.00	270.00	130.00	32.50%	2,000.00	1,675.00	325.00	16.25%	
Miscellaneous	600.00	22.73%	50.00	0.00	50.00	100.00%	250.00	136.36	113.64	45.46%	
Dues & Subscriptions	1,200.00	156.44%	100.00	129.00	(29.00)	-29.00%	500.00	1,877.32	(1,377.32)	-275.46%	
Books	0.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%	
Conferences & Training	3,350.00	13.43%	250.00	400.00	(150.00)	-60.00%	1,600.00	450.00	1,150.00	71.88%	
Staff Development	0.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%	
Total Administration	360,997.50	78.25%	30,818.66	45,474.06	(14,655.40)	-47.55%	169,580.09	282,486.39	(112,906.30)	-66.58%	

	MONTH				YTD			
	BUDGET	ACTUAL	Variance (\$)	Variance (%)	BUDGET	ACTUAL	Variance (\$)	Variance (%)
	Month	Month	Month	Month	YTD	YTD	YTD	YTD
1410 - Elections								
PT Salaries	12,000.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%
Office Supplies	500.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%
Legal Publications/Notification	500.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%
Equipment Repair	500.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%
County Election Fees	950.00	0.00	0.00	0.00%	950.00	1,200.00	(250.00)	-26.32%
Printed Forms	350.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%
Miscellaneous	1,000.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%
Total Elections	15,800.00	0.00	0.00	0.00%	950.00	1,200.00	(250.00)	-26.32%
1520 - Finance								
FT Salaries	60,630.46	4,653.35	21.02	0.45%	25,593.41	26,423.11	(829.70)	-3.24%
PT Salaries	4,550.00	350.00	(300.00)	-85.71%	1,925.00	2,492.20	(567.20)	-29.46%
PERA Contributions	4,888.53	375.25	(20.93)	-5.58%	2,063.88	2,162.11	(98.23)	-4.76%
FICA Contributions	4,041.19	310.21	(2.20)	-0.71%	1,706.14	1,709.70	(3.56)	-0.21%
Medicare Contributions	945.12	72.55	(0.51)	-0.70%	399.02	399.83	(0.81)	-0.20%
Health/Dental Insurance	10,880.00	836.92	(33.48)	-4.00%	4,603.08	4,787.20	(184.12)	-4.00%
Unemployment Benefits	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%
Workers Compensation	550.00	0.00	0.00	0.00%	550.00	237.16	312.84	56.88%
Office Supplies	1,000.00	0.00	0.00	0.00%	625.00	163.03	461.97	73.92%
Printed Forms	500.00	0.00	0.00	0.00%	125.00	0.00	125.00	100.00%
Audit Services	28,650.00	0.00	(11,375.00)	-100.00%	25,000.00	23,150.00	1,850.00	7.40%
Contract Services	6,700.00	525.00	516.56	98.39%	2,850.00	33.76	2,816.24	98.82%
Mileage	50.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%
Miscellaneous	200.00	0.00	0.00	0.00%	50.00	70.00	(20.00)	-40.00%
Dues & Subscriptions	750.00	0.00	(170.00)	-100.00%	250.00	170.00	80.00	32.00%
Conferences & Training	500.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%
Total Finance	124,835.30	7,123.28	(11,364.54)	-159.54%	65,740.53	61,798.10	3,942.43	6.00%

YTD reflects correction to allocate final Y/E billing to all depts

Monthly variance is a timing issue

	Full Year		MONTH				YTD				YTD variance notes	
	2016		BUDGET		ACTUAL		BUDGET		ACTUAL			
	% to date	Month	Month	Variance (\$)	Variance (%)	Month	Month	YTD	YTD	Variance (\$)		Variance (%)
1910 - Planning & Zoning												
FT Salaries	137,098.00	48.48%	10,546.00	14,304.62	(3,758.62)	-35.64%	58,003.00	66,468.32	(8,465.32)	-14.59%		
PT Salaries	4,800.00	0.00%	1,200.00	0.00	1,200.00	100.00%	1,200.00	0.00	1,200.00	100.00%		
PERA Contributions	10,282.35	44.42%	790.95	980.11	(189.16)	-23.92%	4,350.23	4,567.75	(217.52)	-5.00%		
FICA Contributions	8,500.08	41.93%	653.85	766.48	(112.63)	-17.23%	3,596.19	3,564.19	32.00	0.89%		
Medicare Contributions	1,987.92	41.93%	152.92	179.25	(26.33)	-17.22%	841.04	833.53	7.51	0.89%		
Health/Dental Insurance	34,814.00	23.91%	2,678.00	1,850.00	828.00	30.92%	14,729.00	8,325.00	6,404.00	43.48%		
Workers Compensation	800.00	60.24%	0.00	0.00	0.00	0.00%	800.00	481.91	318.09	39.76%	YTD reflects correction to allocate final YE billing to all depis	
Developer escrow offset cost recovery	0.00	-100.00%	0.00	(1,236.52)	1,236.52	100.00%	0.00	(5,565.00)	5,565.00	100.00%		
Office Supplies	1,800.00	25.83%	150.00	62.25	87.75	58.50%	750.00	465.02	284.98	38.00%		
Printed Forms	750.00	0.00%	0.00	0.00	0.00	0.00%	250.00	0.00	250.00	100.00%		
Engineering Services	20,000.00	29.81%	1,500.00	660.00	840.00	56.00%	7,500.00	5,961.26	1,538.74	20.52%		
Contract Services	60,000.00	36.25%	0.00	5,031.69	(5,031.69)	-100.00%	15,000.00	21,748.48	(6,748.48)	-44.99%	YTD includes East Metro Strong analysis costs related to potential BRT line	
Postage	200.00	0.00%	0.00	0.00	0.00	0.00%	50.00	0.00	50.00	100.00%		
Mileage	250.00	0.00%	20.00	0.00	20.00	100.00%	100.00	0.00	100.00	100.00%		
Miscellaneous	500.00	0.00%	40.00	0.00	40.00	100.00%	200.00	0.00	200.00	100.00%		
Dues & Subscriptions	600.00	3.33%	50.00	20.00	30.00	60.00%	250.00	20.00	230.00	92.00%		
Books	300.00	0.00%	25.00	0.00	25.00	100.00%	125.00	0.00	125.00	100.00%		
Conferences & Training	2,000.00	3.00%	0.00	60.00	(60.00)	-100.00%	500.00	60.00	440.00	88.00%		
Total Planning & Zoning	284,682.35	37.56%	17,806.72	22,677.88	(4,871.16)	-27.36%	108,244.46	106,930.46	1,314.00	1.21%		
1930 - Engineering Services												
Engineering Services	48,000.00	25.44%	4,000.00	1,640.00	2,360.00	59.00%	20,000.00	12,211.23	7,788.77	38.94%		
Total Engineering Services	48,000.00	25.44%	4,000.00	1,640.00	2,360.00	59.00%	20,000.00	12,211.23	7,788.77	38.94%		
1940 - City Hall												
Cleaning Supplies	50.00	0.00%	0.00	0.00	0.00	0.00%	25.00	0.00	25.00	100.00%		
Building Repair Supplies	300.00	0.00%	25.00	0.00	25.00	100.00%	125.00	0.00	125.00	100.00%		
Utilities	7,500.00	26.33%	500.00	258.98	241.02	48.20%	3,250.00	1,974.89	1,275.11	39.23%		
Refuse	600.00	75.29%	50.00	112.94	(62.94)	-125.88%	250.00	451.76	(201.76)	-80.70%		
Repairs/Maintn Contractual Bldg	6,000.00	59.33%	500.00	326.65	173.35	34.67%	2,500.00	3,559.87	(1,059.87)	-42.39%		
Repairs/Maintn Contractual Equip	10,800.00	38.67%	900.00	672.94	227.06	25.23%	4,500.00	4,176.12	323.88	7.20%		
Facility Lease	29,532.00	41.67%	2,461.00	2,461.00	0.00	0.00%	12,305.00	12,305.00	0.00	0.00%		
Miscellaneous	300.00	280.42%	25.00	0.00	25.00	100.00%	125.00	841.25	(716.25)	-573.00%		
Total City Hall	55,082.00	42.32%	4,461.00	3,832.51	628.49	14.09%	23,080.00	23,308.89	(228.89)	-0.99%		
Total General Government	935,352.47	54.26%	65,209.66	97,794.55	(32,584.89)	-49.97%	397,970.08	507,526.63	(109,556.55)	-27.53%		

DEPT 420 - PUBLIC SAFETY	Full Year	MONTH						YTD									
		BUDGET		ACTUAL		Variance (\$)		BUDGET		ACTUAL		Variance (\$)					
		2016	% to date	Month	Month	Month	Month	Month	Month	Month	Month	Month	Month	Month			
2100 - Police																	
Law Enforcement Contract	527,060.47	0.12%	0.00	0.00	0.00	0.00	0.00%	0.00	634.22	(634.22)	-100.00%						
Total Police	527,060.47	0.12%	0.00	0.00	0.00	0.00%			634.22	(634.22)	-100.00%						
2150 - Prosecution																	
Attorney Criminal	54,700.00	34.66%	4,500.00	3,500.00	1,000.00	22.22%			22,800.00	18,960.18	3,839.82	16.84%					
Total Prosecution	54,700.00	34.66%	4,500.00	3,500.00	1,000.00	22.22%			22,800.00	18,960.18	3,839.82	16.84%					
2220 - Fire																	
FT Salaries	70,300.00	42.32%	5,407.69	5,409.63	(1.94)	-0.04%			29,742.31	29,753.07	(10.76)	-0.04%					
PT Salaries	110,000.00	29.28%	9,166.67	7,432.10	1,734.57	18.92%			45,833.33	32,206.77	13,626.56	29.73%					
PERA Contributions	11,388.60	45.93%	876.05	1,132.85	(256.80)	-29.31%			4,818.25	5,230.84	(412.59)	-8.56%					
FICA Contributions	7,388.33	33.80%	568.33	460.81	107.52	18.92%			3,125.83	2,497.48	628.35	20.10%					
Medicare Contributions	2,747.27	36.04%	211.33	179.20	32.13	15.20%			1,162.31	990.09	172.22	14.82%					
Health/Dental Insurance	14,846.00	40.31%	1,142.00	1,088.00	54.00	4.73%			6,281.00	5,984.00	297.00	4.73%					
Unemployment Benefits	0.00	0.00%	0.00	0.00	0.00	0.00%			0.00	0.00	0.00	0.00%					
Workers Compensation	18,500.00	80.89%	0.00	0.00	0.00	0.00%			18,500.00	14,965.50	3,534.50	19.11%					
Office Supplies	850.00	92.64%	70.00	111.54	(41.54)	-59.34%			350.00	787.46	(437.46)	-124.99%					
EMS Supplies	3,400.00	15.25%	280.00	518.56	(238.56)	-85.20%			1,400.00	518.56	881.44	62.96%					
Fire Prevention	3,000.00	2.07%	250.00	0.00	250.00	100.00%			1,250.00	62.00	1,188.00	95.04%					
Fuel, Oil & Fluids	13,000.00	19.98%	1,075.00	809.99	265.01	24.65%			5,375.00	2,596.78	2,778.22	51.69%					
Small Tools & Equip	12,000.00	19.57%	1,000.00	42.20	957.80	95.78%			5,000.00	2,348.13	2,651.87	53.04%					
Physicals	3,904.00	15.34%	350.00	415.00	(65.00)	-18.57%			1,750.00	599.00	1,151.00	65.77%					
Radio	18,097.51	39.04%	0.00	0.00	0.00	0.00%			4,524.37	7,065.76	(2,541.39)	-56.17%					
Mileage	500.00	128.84%	40.00	133.92	(93.92)	-234.80%			220.00	644.22	(424.22)	-192.83%					
Insurance	8,307.00	87.76%	0.00	0.00	0.00	0.00%			8,307.00	7,290.00	1,017.00	12.24%					
Electric Utility	15,500.00	37.93%	1,300.00	690.40	609.60	46.89%			6,700.00	5,879.20	820.80	12.25%					
Refuse	1,200.00	97.13%	100.00	266.38	(166.38)	-166.38%			500.00	1,165.52	(665.52)	-133.10%					
Repair/Maint Bldg	15,250.00	22.20%	4,000.00	251.59	3,748.41	93.71%			8,000.00	3,385.65	4,614.35	57.68%					
Repair/Maint Equip	25,650.00	43.33%	2,200.00	2,884.04	(684.04)	-31.09%			11,000.00	11,112.95	(112.95)	-1.03%					
Uniforms	4,100.00	2.68%	300.00	0.00	300.00	100.00%			1,650.00	109.90	1,540.10	93.34%					
Miscellaneous	2,000.00	63.63%	150.00	470.96	(320.96)	-213.97%			800.00	1,272.63	(472.63)	-59.08%					
Dues & Subscriptions	3,863.00	60.29%	320.00	0.00	320.00	100.00%			1,600.00	2,329.00	(729.00)	-45.56%					
Books	440.00	0.00%	40.00	0.00	40.00	100.00%			180.00	0.00	180.00	100.00%					
Conferences & Training	17,000.00	50.73%	0.00	1,180.00	(1,180.00)	-100.00%			4,000.00	8,624.46	(4,624.46)	-115.61%					
Conferences & Training (Reimb)	(6,000.00)	0.00%	0.00	(3,200.00)	3,200.00	100.00%			(1,500.00)	(3,200.00)	1,700.00	-113.33%					
Total Fire	377,231.71	38.23%	28,847.07	20,277.17	8,569.90	29.71%			170,569.40	144,218.97	26,350.43	15.45%					
2250 - Fire Relief																	
Fire State Aid	37,323.00	0.00%	0.00	0.00	0.00	0.00%			0.00	0.00	0.00	0.00%					
Total Fire Relief	37,323.00	0.00%	0.00	0.00	0.00	0.00%			0.00	0.00	0.00	0.00%					

YTD reflects correction to allocate final YE billing to all depts

May is an accrual based on 2016

	Full Year		MONTH					YTD				
	BUDGET	% to date	BUDGET	ACTUAL	Variance (\$)	Variance (%)	BUDGET	ACTUAL	Variance (\$)	Variance (%)		
	2016		Month	Month	Month	Month	YTD	YTD	YTD	YTD		
2400 - Building Inspection												
FT Salaries	168,171.00	36.36%	12,936.23	12,040.70	895.53	6.92%	71,149.27	61,132.15	9,997.12	14.05%		
PERA Contributions	12,612.83	32.71%	970.22	903.05	67.17	6.92%	5,336.20	4,125.70	1,210.50	22.68%		
FICA Contributions	10,426.60	35.31%	802.05	738.31	63.74	7.95%	4,411.25	3,681.53	729.72	16.54%		
Medicare Contributions	2,438.48	35.31%	187.58	172.67	14.91	7.95%	1,031.66	860.98	170.68	16.54%		
Health/Dental Insurance	29,692.00	32.98%	2,284.00	1,088.00	1,196.00	52.36%	12,562.00	9,792.00	2,770.00	22.05%		
Unemployment Benefits	0.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%		
Workers Compensation	5,000.00	29.28%	0.00	0.00	0.00	0.00%	2,500.00	1,463.81	1,036.19	41.45%		
Office Supplies	2,100.00	24.61%	175.00	122.34	52.66	30.09%	875.00	516.84	358.16	40.93%		
Printed Forms	700.00	0.00%	0.00	0.00	0.00	0.00%	175.00	0.00	175.00	100.00%		
Fuel, Oil & Fluids	6,500.00	8.01%	600.00	61.62	538.38	89.73%	2,600.00	520.63	2,079.37	79.98%		
Engineering	14,000.00	15.63%	1,300.00	175.00	1,125.00	86.54%	5,300.00	2,188.75	3,111.25	58.70%		
Inspector Contract Services	0.00	100.00%	0.00	0.00	0.00	0.00%	0.00	4,586.41	(4,586.41)	-100.00%		
Mileage	200.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%		
Insurance	900.00	19.78%	0.00	0.00	0.00	0.00%	900.00	178.00	722.00	80.22%		
Repairs/Maint Equip	1,800.00	1.99%	150.00	0.00	150.00	100.00%	750.00	35.83	714.17	95.22%		
Uniforms	850.00	0.00%	70.00	0.00	70.00	100.00%	350.00	0.00	350.00	100.00%		
Miscellaneous	725.00	45.37%	55.00	12.94	42.06	76.47%	275.00	328.94	(53.94)	-19.61%		
Dues & Subscriptions	700.00	12.86%	60.00	0.00	60.00	100.00%	300.00	90.00	210.00	70.00%		
Books	725.00	69.97%	0.00	0.00	0.00	0.00%	725.00	507.25	217.75	30.03%		
New Truck	0.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%		
Conferences & Training	3,225.00	8.99%	0.00	0.00	0.00	0.00%	700.00	290.00	410.00	58.57%		
Total Building Inspections	260,765.91	34.64%	19,590.08	15,314.63	4,275.45	21.82%	109,940.38	90,318.82	19,621.56	17.85%		
2500 - Emergency Communications												
Contract Services	7,400.00	0.00%	0.00	0.00	0.00	0.00%	1,850.00	0.00	1,850.00	100.00%		
Total Emergency Communications	7,400.00	0.00%	0.00	0.00	0.00	0.00%	1,850.00	0.00	1,850.00	100.00%		
2700 - Animal Control												
Printed Forms	0.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%		
Contract Services	7,550.00	39.14%	600.00	525.00	75.00	12.50%	3,000.00	2,955.00	45.00	1.50%		
Miscellaneous (Impounding)	0.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%		
Total Animal Control	7,550.00	39.14%	600.00	525.00	75.00	12.50%	3,000.00	2,955.00	45.00	1.50%		
Total Public Safety	1,272,031.09	20.21%	53,537.15	39,616.80	13,920.35	26.00%	308,159.78	257,087.19	51,072.59	16.57%		

Includes payout of remaining PTO balance to prior Bldg Official

YTD reflects correction to allocate final YE billing to all depts

DEPT 430 - PUBLIC WORKS

	Full Year		MONTH				YTD			
	BUDGET	% to date	BUDGET	ACTUAL	Variance (\$)	Variance (%)	BUDGET	ACTUAL	Variance (\$)	Variance (%)
	2016		Month	Month	Month	Month	YTD	YTD	YTD	YTD
3100 - Public Works	169,779.00	55.62%	13,059.92	16,383.40	(3,323.48)	-25.45%	71,829.58	94,425.39	(22,595.81)	-31.46%
FT Salaries	7,000.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%
PT Salaries	12,733.11	55.62%	979.49	1,228.78	(249.29)	-25.45%	5,387.22	7,081.98	(1,694.76)	-31.46%
PERA Contributions	10,526.50	53.57%	809.72	975.13	(165.41)	-20.43%	4,453.43	5,639.21	(1,185.78)	-26.63%
FICA Contributions	2,461.80	53.58%	189.37	228.10	(38.73)	-20.45%	1,041.53	1,318.93	(277.40)	-26.63%
Medicare Contributions	44,759.00	42.77%	3,443.00	3,610.00	(167.00)	-4.85%	18,936.50	19,144.00	(207.50)	-1.10%
Health/Dental Insurance	0.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%
Unemployment Benefits	18,000.00	77.65%	0.00	0.00	0.00	0.00%	18,000.00	13,977.59	4,022.41	22.35%
Workers Compensation	2,000.00	20.32%	165.00	0.00	165.00	100.00%	825.00	406.33	418.67	50.75%
Office Supplies	2,000.00	95.73%	165.00	287.78	(122.78)	-74.41%	825.00	1,914.67	(1,089.67)	-132.08%
Shop Materials	500.00	162.56%	40.00	191.93	(151.93)	-379.83%	200.00	812.80	(612.80)	-306.40%
Building Repair Supplies	1,200.00	213.20%	100.00	26.68	73.32	73.32%	500.00	2,558.42	(2,058.42)	-411.68%
Small Tools and Minor Equip	12,000.00	23.48%	0.00	817.50	182.50	18.25%	5,000.00	2,817.50	2,182.50	43.65%
Engineering Services	1,000.00	142.99%	0.00	823.80	(823.80)	-100.00%	500.00	1,429.85	(929.85)	-185.97%
Contract Services	1,300.00	23.77%	0.00	309.06	(309.06)	-100.00%	325.00	309.06	15.94	4.90%
Radio	0.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%
Mileage	16,000.00	94.41%	0.00	0.00	0.00	0.00%	16,000.00	15,105.00	895.00	5.59%
Insurance	28,000.00	40.63%	1,500.00	1,382.72	117.28	7.82%	13,000.00	11,377.37	1,622.63	12.48%
Electric Utility	2,500.00	42.67%	200.00	216.67	(16.67)	-8.33%	1,000.00	1,066.68	(66.68)	-6.67%
Refuse	42,000.00	17.90%	2,500.00	1,721.70	772.30	30.89%	20,000.00	7,517.56	12,482.44	62.41%
Fuel, Oil, Fluids (ALL depts)	4,000.00	122.40%	330.00	0.00	330.00	100.00%	1,650.00	4,895.92	(3,245.92)	-196.72%
Repair/Maint Bldg	500.00	33.00%	40.00	0.00	40.00	100.00%	200.00	164.99	35.01	17.51%
Repair/Maint NOT Bldg	2,400.00	51.43%	200.00	0.00	200.00	100.00%	1,000.00	1,234.36	(234.36)	-23.44%
Repair/Maint Equip (in)	5,000.00	10.38%	400.00	518.83	(118.83)	-29.71%	2,000.00	518.83	1,481.17	74.06%
Repair/Maint Equip (out)	8,000.00	4.41%	625.00	0.00	625.00	100.00%	3,225.00	352.52	2,872.48	89.07%
Equipment Parts	3,600.00	54.93%	300.00	290.03	9.97	3.32%	1,500.00	1,977.61	(477.61)	-31.84%
Uniforms	1,000.00	41.80%	100.00	0.00	100.00	100.00%	300.00	418.00	(118.00)	-39.33%
Miscellaneous	500.00	0.00%	125.00	0.00	125.00	100.00%	50.00	99.00	(49.00)	-98.00%
Landscaping Material	200.00	49.50%	0.00	0.00	0.00	0.00%	50.00	95.00	280.00	74.67%
Dues & Subscriptions	4,425.00	2.15%	0.00	0.00	0.00	0.00%	375.00	0.00	1,000.00	100.00%
Conferences & Training	2,400.00	0.00%	200.00	0.00	200.00	100.00%	1,000.00	0.00	1,000.00	100.00%
Personal Protection Equipment	5,500.00	3.85%	0.00	0.00	0.00	0.00%	0.00	211.80	(211.80)	-100.00%
Clean up Days	411,284.21	47.87%	26,471.50	29,018.11	(2,546.61)	-9.62%	189,248.26	196,870.37	(7,622.11)	-4.03%
Total Public Works										
3120 - Streets										
Equipment Parts	3,000.00	0.00%	250.00	0.00	250.00	100.00%	1,250.00	0.00	1,250.00	100.00%
Street Maintenance Materials	20,000.00	8.64%	2,000.00	775.10	1,224.90	61.25%	7,000.00	1,728.57	5,271.43	75.31%
Seal Coating/Crack Filling	210,000.00	14.20%	0.00	29,828.00	(29,828.00)	-100.00%	0.00	29,828.00	(29,828.00)	-100.00%
Mill and Overlay Program	160,000.00	0.00%	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%
Sign Repair Materials	2,500.00	85.07%	300.00	0.00	300.00	100.00%	1,000.00	2,126.67	(1,126.67)	-112.67%
Contract Services - General	10,000.00	18.10%	2,000.00	517.50	1,482.50	74.13%	2,000.00	1,809.71	190.29	9.51%
Contract Services - ROW	5,000.00	0.00%	1,000.00	0.00	1,000.00	100.00%	2,000.00	0.00	2,000.00	100.00%
Repairs/Maint Equipment	2,500.00	21.77%	210.00	265.75	(55.75)	-26.55%	1,050.00	544.26	505.74	48.17%
Total Streets	413,000.00	8.73%	5,760.00	31,386.35	(25,626.35)	-44.90%	14,300.00	36,037.21	(21,737.21)	-152.01%

YTD reflects correction to allocate final YE billing to all depts

3125 - Ice & Snow Removal	Full Year BUDGET 2016	% to date	MONTH					YTD				
			BUDGET	ACTUAL	Variance (\$)	Variance (%)	BUDGET	ACTUAL	Variance (\$)	Variance (%)		
			Month	Month	Month	Month	YTD	YTD	YTD	YTD		
Landscaping Material	750.00	0.00%	0.00	0.00	0.00	0.00%	250.00	0.00	250.00	100.00%		
Sand/Salt	70,000.00	6.50%	0.00	0.00	0.00	0.00%	35,000.00	4,550.73	30,449.27	87.00%		
Contract Services	4,000.00	0.00%	0.00	0.00	0.00	0.00%	2,000.00	0.00	2,000.00	100.00%		
Repairs/Maint Equipment	12,500.00	0.84%	1,000.00	0.00	1,000.00	100.00%	5,250.00	105.14	5,144.86	98.00%		
Total Ice & Snow Removal	87,250.00	5.34%	1,000.00	0.00	1,000.00	100.00%	42,500.00	4,655.87	37,844.13	89.05%		
Credit for maintenance equipment return												
3160 - Street Lighting	26,400.00	39.56%	2,200.00	2,139.88	60.12	2.73%	11,000.00	10,442.69	557.31	5.07%		
Street Lighting	26,400.00	39.56%	2,200.00	2,139.88	60.12	2.73%	11,000.00	10,442.69	557.31	5.07%		
Total Street Lighting	26,400.00	39.56%	2,200.00	2,139.88	60.12	2.73%	11,000.00	10,442.69	557.31	5.07%		
3200 - Recycling	3,500.00	0.00%	0.00	0.00	0.00	0.00%	1,750.00	0.00	1,750.00	100.00%		
Recycling Supplies	3,500.00	0.00%	0.00	0.00	0.00	0.00%	1,750.00	0.00	1,750.00	100.00%		
Miscellaneous	2,400.00	0.00%	200.00	0.00	200.00	100.00%	1,000.00	0.00	1,000.00	100.00%		
Total Recycling	5,900.00	0.00%	200.00	0.00	200.00	100.00%	2,750.00	0.00	2,750.00	100.00%		
3250 - Tree Program	1,000.00	61.45%	0.00	614.50	(614.50)	-100.00%	0.00	614.50	(614.50)	-100.00%		
Contract Services	1,000.00	61.45%	0.00	614.50	(614.50)	-100.00%	0.00	614.50	(614.50)	-100.00%		
Total Tree Program	1,000.00	61.45%	0.00	614.50	(614.50)	-100.00%	0.00	614.50	(614.50)	-100.00%		
Total Public Works	944,834.21	26.31%	35,631.50	63,158.84	(27,527.34)	-77.26%	259,798.26	248,620.64	11,177.62	4.30%		

	Full Year		Month		YTD		Notes
	BUDGET 2016	% to date	2016 BUDGET	2016 ACTUALS	2016 BUDGET	2016 ACTUALS	
REVENUE							
Current Ad Valorem Taxes	256,957.00	0.00%	0.00	0.00	0.00	0.00	Funds received from WA Cty July and December
Rental Income	0.00	0.00%	0.00	0.00	0.00	0.00	
Interest Earnings	0.00	0.00%	0.00	0.00	0.00	0.00	
Miscellaneous Revenue	0.00	0.00%	0.00	0.00	0.00	0.00	
Donations	0.00	100.00%	0.00	0.00	10,970.00	10,970.00	Includes grant proceeds of \$10k from Bremer Fdn
Total Revenue	256,957.00	4.27%	0.00	0.00	0.00	10,970.00	

	Full Year		Month		YTD		Notes	
	BUDGET 2016	% to date	2016 BUDGET	2016 ACTUALS	2016 BUDGET	2016 ACTUALS		
EXPENSE								
FT Salaries	463,111.07	42.97%	3,460.82	3,807.70	19,034.82	19,901.95	(867.13)	
PT Salaries	26,260.00	39.05%	2,020.00	1,869.97	11,110.00	10,254.69	855.31	
PERA Contributions	4,277.55	52.88%	322.56	425.83	1,680.94	2,261.77	(580.83)	
FICA Contributions	3,479.51	51.70%	251.06	339.44	1,319.43	1,799.04	(479.61)	
Medicare Contributions	813.78	51.71%	58.72	79.40	308.59	420.77	(112.18)	
Health/Dental Insurance	14,144.00	42.31%	1,088.00	1,088.00	5,984.00	5,984.00	0.00	
Unemployment Benefits	0.00	0.00%	0.00	0.00	0.00	0.00	0.00	
Workers Compensation	0.00	0.00%	0.00	0.00	0.00	0.00	0.00	
Library svcs supplies	1,000.01	0.00%	91.67	0.00	458.35	0.00	458.35	
Office Supplies	3,600.00	21.71%	300.00	218.54	1,500.00	781.60	718.40	
Library Collection Maintenance	42,811.08	68.89%	4,000.00	8,812.32	24,500.00	29,493.89	(4,993.89)	
Legal Services	1,500.00	115.38%	0.00	0.00	1,125.00	1,730.75	(605.75)	
Contract Services	6,000.00	0.00%	500.00	0.00	2,500.00	0.00	2,500.00	
Engineering Services	0.00	0.00%	0.00	0.00	0.00	0.00	0.00	
Telephone	1,560.00	48.39%	130.00	407.76	650.00	754.84	(104.84)	
Internet	1,800.00	31.94%	150.00	230.00	750.00	575.00	175.00	
Information Technology (Equino	3,100.00	1.04%	0.00	0.00	3,100.00	32.13	3,067.87	
Software	0.00	0.00%	0.00	0.00	0.00	0.00	0.00	
Insurance	2,000.00	81.85%	0.00	0.00	2,000.00	1,637.00	363.00	
Utilities	7,500.00	30.05%	500.00	462.38	3,400.00	2,253.88	1,146.12	
Refuse	6,000.00	33.26%	50.00	49.89	250.00	199.56	50.44	
Repair/Maint Bldg	12,000.00	118.73%	1,000.00	867.89	5,000.00	14,247.75	(9,247.75)	
Repair/Maint NOT Bldg	0.00	100.00%	0.00	0.00	0.00	94.42	(94.42)	
Repair/Maint Equip (out-LH Imp	0.00	0.00%	0.00	0.00	0.00	0.00	0.00	
Library Card Reimbursements	12,000.00	94.46%	0.00	2,016.52	12,000.00	11,334.67	665.33	
WA Cty Svc Fee	9,300.00	0.00%	1,000.00	0.00	2,000.00	0.00	2,000.00	
Library Service Improvements	46,000.00	0.00%	0.00	0.00	46,000.00	0.00	46,000.00	
Miscellaneous	1,800.00	20.55%	150.00	0.00	750.00	369.94	380.06	
Building Purchase Reprint	0.00	0.00%	0.00	0.00	0.00	0.00	0.00	
Building-Property Tax	1,000.00	0.00%	500.00	0.00	500.00	0.00	500.00	
Other Equipment	0.00	0.00%	0.00	0.00	0.00	0.00	0.00	
Subscriptions	0.00	0.00%	0.00	0.00	0.00	0.00	0.00	
Conferences & Training	3,500.00	0.00%	1,250.00	0.00	2,250.00	0.00	2,250.00	
Programs	4,500.00	0.00%	300.00	0.00	1,500.00	0.00	1,500.00	
Internal charges	0.00	100.00%	0.00	0.00	0.00	10.00	(10.00)	
Total Library	256,957.00	40.53%	17,122.83	20,675.64	149,671.13	104,137.65	45,533.48	

	2016 BUDGET	2016 ACTUALS	Over/ (under)	2016 BUDGET	2016 ACTUALS	Over/ (under)
Net Income/(Expense)	0.00	(17,122.83)	(3,552.81)	(149,671.13)	(93,167.65)	56,503.48
12/31/15 Cash Balance	232,917.24		20.75%	260,688.75		-37.75%
Net Income/(Expense)	0.00			(93,167.65)		
Accrued AP				0.00		
CIP (self funded)	(30,000.00)					
Contingencies	0.00					
2014 AP accrual reversal						
Ending Cash Balance	202,917.24			167,521.10		



MAYOR & COUNCIL COMMUNICATION

DATE: May 17, 2016
CONSENT
ITEM #3

AGENDA ITEM: Monthly Assessor Report
SUBMITTED BY: Dan Raboin, City Assessor
THROUGH: Cathy Bendel, Finance Director
REVIEWED BY: Cathy Bendel, Finance Director

SUGGESTED ORDER OF BUSINESS:

- Introduction of Item City Administrator
- Report/Presentation.....City Administrator
- Questions from Council to StaffMayor Facilitates
- Call for Motion Mayor & City Council
- Discussion..... Mayor & City Council
- Action on Motion.....Mayor Facilitates

SUMMARY AND ACTION REQUESTED: As part of its Consent Agenda, the City Council is asked to accept the monthly assessor report for through May 2016 outlining work performed on behalf of the City of Lake Elmo. No specific motion is needed as this is recommended as part of the *Consent Agenda*.

LEGISLATIVE HISTORY/BACKGROUND INFORMATION:

Property splits/plats – 0
Sales collected and viewed – 18
Taxpayer inquiries – 4
Miscellaneous inquiries - 6
Inspections – Residential – 98; Commercial – 6
Building permit reviews – 28
Pictures taken – 107

Other work performed included:

- Monthly meeting with County residential and commercial supervisors
- Input of all inspection and permit work

- Perform sales verifications and land value analysis using MLS and other resources
- Field telephone inquiries

RECOMMENDATION: Based on the aforementioned, the staff recommends the City Council accept the May 2016 monthly assessor report.



MAYOR AND COUNCIL COMMUNICATION

DATE: 06/21/2016
CONSENT
ITEM #: 5

AGENDA ITEM: Building Department Report

SUBMITTED BY: Mike Bent, Building Official

THROUGH: Mike Bent, Building Official

REVIEWED BY: Cathy Bendel, Finance Director

SUMMARY AND ACTION REQUESTED: As part of its Consent Agenda, the City Council is asked to accept the monthly building department report. No specific motion is needed, as this is recommended to be part of the overall approval of the *Consent Agenda*.

STAFF REPORT: Below is a snapshot of the year to date statistics through May 2016. Comparison data is also include from prior years for new home single family construction and total permitting activity. Attached are the system summary reports breaking out this information further, including the statistics related to the inspection activity.

	<u>2016</u>	<u>2015*</u>	<u>2014</u>
New homes	98	39	9
Total valuation	\$31,308,774	\$13,383,505	\$5,507,800
Average home value	\$319,477	\$343,166	\$611,000
Total Permit Valuation YTD	\$43,478,797	\$16,987,858	\$7,467,233

*Includes one home rebuild due to fire

RECOMMENDATION: Based on the aforementioned, the staff recommends the City Council accept the May 2016 monthly building permit report.

ATTACHMENTS:

1. Valuation Report
2. Permits Issued & Fees Report
3. Inspection statistic report for May 2016

**CITY OF LAKE ELMO
Valuation Report - Summary**

Issued Date From: 5/1/2016 To: 5/31/2016
 Permit Type: All Property Type: All Construction Type: All
 Include YTD: Yes

Permit Kind	Permit Count	Valuation	Dwell Units	
Permit Type: BUILDING				
COMMERCIAL ALTERATION	1	\$15,000.00	0	
SINGLE FAMILY BASEMENT FINISH	1	\$52,000.00	0	
SINGLE FAMILY DECK	4	\$38,400.00	0	
SINGLE FAMILY DOOR	1	\$1,200.00	0	
SINGLE FAMILY DRAIN TILE WATERPROOFING	1	\$10,000.00	0	
SINGLE FAMILY GARAGE	1	\$15,000.00	0	
SINGLE FAMILY NEW CONSTRUCTION	19	\$8,057,000.00	0	
SINGLE FAMILY POOL	1	\$40,000.00	0	
SINGLE FAMILY PORCH	1	\$30,000.00	0	
SINGLE FAMILY REMODEL	3	\$61,500.00	0	
SINGLE FAMILY WINDOWS	3	\$29,781.00	0	
Permit Type: BUILDING - Total	Period	36	\$8,349,881.00	0
	YTD	163	\$43,478,797.11	0
Report Total:	Period	36	\$8,349,881.00	0
	YTD	163	\$43,478,797.11	0

CITY OF LAKE ELMO

Permits Issued & Fees Report - Summary

Issued Date From: 5/1/2016 To: 5/31/2016

Permit Type: All Property Type: All Construction Type: All
 Include YTD: Yes Status: Not Voided

Permit Kind	Permit Count	Dwell Units	Valuation	Revenue	Plan Check	State Surcharge	Park Fees	SAC	SAC Fees	Total Fees
Permit Type: BUILDING										
COMMERCIAL ALTERATION										
Period	1	0	15,000.00	251.25	163.31	7.50				422.06
YTD	1	0	15,000.00	251.25	163.31	7.50				422.06
COMMERCIAL DEMOLITION										
Period	0									
YTD	1	0		300.00		1.00	1,000.00			1,351.00
COMMERCIAL FIRE ALARM										
Period	0									
YTD	1	0		100.00		1.00				101.00
COMMERCIAL FIRE SUPPRESSION										
Period	0									
YTD	1	0		100.00		1.00				101.00
COMMERCIAL HVAC										
Period	0									
YTD	1	0		90.00	58.50	1.00				149.50
COMMERCIAL NEW CONSTRUCTION										
Period	0									
YTD	1	0	4,830,000.00	19,823.25	12,732.36	1,483.00	5,000.00	11	71,335.00	156,923.61
COMMERCIAL SIGN										
Period	0									
YTD	1	0	97,000.00	972.75		48.50				1,021.25
COMMERCIAL TANK REMOVAL										
Period	1	0		250.00		1.00				251.00
YTD	1	0		250.00		1.00				251.00
COMMERCIAL TENNANT BUILDOUT										
Period	0									

Permit Kind	Permit Count	Dwell Units	Valuation	Revenue	Plan Check	State Surcharge	Park Fees	SAC Units	SAC Fees	Total Fees
Permit Type: BUILDING										
COMMERCIAL TENNANT SPACE REMODEL										
YTD	1	0	48,000.00	623.55	405.31	24.00				1,052.86
Period	0									
YTD	2	0	297,900.00	2,564.50	1,637.68	148.95				4,351.13
Period	0									
YTD	1	0	150.00	150.00		1.00				151.00
Period	0									
YTD	1	0	12,500.00	223.25	145.11	6.25				374.61
Period	0									
YTD	1	0	2,000,000.00	9,258.75		900.00	46,440.00			56,598.75
Period	0									
YTD	1	0	3,823,669.00	15,916.35	10,345.63	1,364.73				27,626.71
Period	0									
YTD	3	0	81,200.00	1,034.25	672.26	40.60				1,747.11
Period	0									
SINGLE FAMILY ATTACHED NEW CONSTRUCTION										
YTD	18	0	3,215,131.00	28,443.90	16,792.08	1,607.55	45,000.00	18	62,730.00	178,873.53
Period	0									
SINGLE FAMILY BASEMENT FINISH										
YTD	1	0	52,000.00	1,021.05	507.68	26.00				1,554.73
Period	0									
YTD	6	0	206,000.00	3,167.38	1,902.80	103.00				5,173.18
Period	0									
YTD	4	0	38,400.00	730.10	474.56	19.20				1,223.86
Period	0									
YTD	10	0	173,400.00	2,560.10	1,491.64	86.70				4,138.44
Period	0									
SINGLE FAMILY DEMOLITION										
YTD	1	0	200.00	200.00		1.00	2,000.00			2,201.00
Period	0									

Permit Kind	Permit Count	Dwell Units	Valuation	Revenue	Plan Check	State Surcharge	Park Fees	SAC Units	SAC Fees	Total Fees
Permit Type: BUILDING										
SINGLE FAMILY DOOR										
Period	1	0	1,200.00	44.85		0.60				45.45
YTD	2	0	7,538.00	184.10		3.77				187.87
SINGLE FAMILY DRAIN TILE WATERPROOFING										
Period	1	0	10,000.00	215.90	140.34	5.00				361.24
YTD	1	0	10,000.00	215.90	140.34	5.00				361.24
SINGLE FAMILY GARAGE										
Period	1	0	15,000.00	251.25	163.31	7.50				422.06
YTD	1	0	15,000.00	251.25	163.31	7.50				422.06
SINGLE FAMILY MANUFACTURED HOME										
Period	0	0								
YTD	3	0		600.00		3.00	750.00			1,353.00
SINGLE FAMILY NEW CONSTRUCTION										
Period	19	0	8,057,000.00	66,071.00	37,905.43	4,028.50	95,000.00	17	59,245.00	293,899.93
YTD	80	0	28,093,643.11	219,166.45	127,924.37	14,046.83	405,000.00	75	261,375.00	1,138,812.65
SINGLE FAMILY POOL										
Period	1	0	40,000.00	542.75	352.79	20.00	500.00			1,415.54
YTD	2	0	92,000.00	1,200.50	780.33	46.00	1,000.00			3,026.83
SINGLE FAMILY PORCH										
Period	1	0	30,000.00	441.75	287.14	15.00				743.89
YTD	1	0	30,000.00	441.75	287.14	15.00				743.89
SINGLE FAMILY REMODEL										
Period	3	0	61,500.00	971.50	631.47	30.75				1,633.72
YTD	12	0	263,500.00	3,496.05	1,055.62	131.75				4,683.42
SINGLE FAMILY REPLACE/REPAIR										
Period	0	0								
YTD	3	0	33,319.00	599.75		16.66				616.41
SINGLE FAMILY ROOFING										
Period	14	0		2,100.00		14.00				2,114.00
YTD	26	0		3,900.00		26.00				3,926.00
SINGLE FAMILY SIDING										

Permit Kind	Permit Type	Permit Count	Dwell Units	Valuation	Revenue	Plan Check	State Surcharge	Park Fees	SAC Units	SAC Fees	Total Fees
	Permit Type: BUILDING										
		Period	1	0	150.00		1.00				151.00
		YTD	4	0	600.00		4.00				604.00
	SINGLE FAMILY TANK REMOVAL										
		Period	1	0	250.00		1.00				251.00
		YTD	2	0	500.00		2.00				502.00
	SINGLE FAMILY WINDOWS										
		Period	3	0	644.80		14.89				659.69
		YTD	15	0	2,637.10		66.99				2,704.09
	Permit Type: BUILDING - Totals										
		Period	53	0	73,936.20	40,626.03	4,191.94	95,500.00	17	59,245.00	305,149.17
		YTD	205	0	319,822.13	176,697.79	20,202.28	506,190.00	104	395,440.00	1,600,152.20

	Permit Type: MECHANICAL										
	COMMERCIAL ALTERATION										
		Period	0								
		YTD	1	0	250.00		12.50				262.50
	COMMERCIAL HVAC										
		Period	3	0	16,856.92		819.21				17,676.13
		YTD	6	0	25,129.92		822.21				25,952.13
	COMMERCIAL NEW CONSTRUCTION										
		Period	0								
		YTD	1	0	5,000.00		250.00				5,250.00
	MANUFACTURED HOME HVAC										
		Period	1	0	60.00		1.00				61.00
		YTD	3	0	180.00		3.00				183.00
	SINGLE FAMILY BASEMENT FINISH										
		Period	0								
		YTD	1	0	180.00		1.00				181.00
	SINGLE FAMILY FIREPLACE										
		Period	1	0	60.00		1.00				61.00

Permit Kind	Permit Count	Dwell Units	Valuation	Revenue	Plan Check	State Surcharge	Park Fees	SAC Units	SAC Fees	Total Fees
Permit Type: MECHANICAL										
SINGLE FAMILY HVAC	YTD	13	0	788.00		13.00				801.00
	Period	0								
SINGLE FAMILY NEW CONSTRUCTION	YTD	23	0	1,740.00		22.00				1,762.00
	Period	53	0	7,320.00		45.00				7,365.00
SINGLE FAMILY REPLACE/REPAIR	YTD	173	0	23,646.00		165.00				23,811.00
	Period	1	0	120.00		1.00				121.00
	YTD	4	0	420.00		4.00				424.00
Permit Type: MECHANICAL - Totals										
	Period	59	0	24,416.92		867.21				25,284.13
	YTD	225	0	57,333.92		1,292.71				58,626.63

Permit Type: PLUMBING										
COMMERCIAL FIXTURE INSTALLATION / APPLIANCE										
	Period	0								
	YTD	3	0	360.00		3.00				363.00
COMMERCIAL NEW CONSTRUCTION										
	Period	0								
	YTD	2	0	3,680.00		176.00				3,856.00
COMMERCIAL SEWER CONNECTION										
	Period	1	0	60.00		1.00				61.00
	YTD	1	0	60.00		1.00				61.00
MANUFACTURED HOME FIXTURE INSTALLATION / APPLIANCE										
	Period	0								
	YTD	1	0	60.00		1.00				61.00
PUBLIC SEWER CONNECTION										
	Period	0								
	YTD	1	0							

Permit Kind	Permit Count	Dwell Units	Valuation	Revenue	Plan Check	State Surcharge	Park Fees	SAC Units	SAC Fees	Total Fees
Permit Type: PLUMBING										
SINGLE FAMILY BASEMENT FINISH										
Period	0									
YTD	2	0		360.00		2.00				362.00
SINGLE FAMILY FIXTURE INSTALLATION / APPLIANCE										
Period	0									
YTD	9	0		1,200.00		9.00				1,209.00
SINGLE FAMILY NEW CONSTRUCTION										
Period	34	0		4,200.00		34.00				4,234.00
YTD	176	0		20,880.00		176.00				21,056.00
SINGLE FAMILY REMODEL										
Period	0									
YTD	1	0		180.00		1.00				181.00
SINGLE FAMILY REPLACE/REPAIR										
Period	3	0		420.00		3.00				423.00
YTD	9	0		1,140.00		9.00				1,149.00
SINGLE FAMILY SEWER & WATER CONNECTION										
Period	1	0		60.00		1.00				61.00
YTD	1	0		60.00		1.00				61.00
SINGLE FAMILY SEWER CONNECTION										
Period	0									
YTD	1	0		60.00		1.00				61.00
SINGLE FAMILY WATER CONNECTION										
Period	3	0		1,410.00		3.00				13,413.00
YTD	5	0		1,530.00		5.00				13,535.00
SINGLE FAMILY WATER HEATER										
Period	1	0								
YTD	3	0		120.00		2.00				122.00
SINGLE FAMILY WATER SOFTNER										
Period	0									
YTD	1	0		60.00		1.00				61.00

Permit Kind	Permit Count	Dwell Units	Valuation	Revenue	Plan Check	State Surcharge	Park Fees	SAC Units	SAC Fees	Total Fees
Permit Type: PLUMBING - Totals										
Period	43	0		6,150.00		42.00				18,192.00
YTD	216	0		29,750.00		388.00				42,138.00
Permit Type: ZONING										
COMMERCIAL FENCE										
Period	1	0		75.00						75.00
YTD	2	0		150.00						150.00
COMMERCIAL SIGN										
Period	0	0								
YTD	3	0		540.00						540.00
SINGLE FAMILY DRIVEWAY										
Period	0	0								
YTD	3	0		210.00						210.00
SINGLE FAMILY FENCE										
Period	1	0		225.00						225.00
YTD	3	0		375.00						375.00
SINGLE FAMILY PATIO										
Period	1	0		75.00						75.00
YTD	1	0		75.00						75.00
Permit Type: ZONING - Totals										
Period	3	0		375.00						375.00
YTD	12	0		1,350.00						1,350.00
Report Total										
Period	158	0	\$8,349,881.00	104,878.12	40,626.03	5,101.15	95,500.00	17	59,245.00	349,000.30
YTD	658	0	\$43,478,797.11	408,256.05	176,697.79	21,882.99	506,190.00	104	395,440.00	1,702,266.83

CITY OF LAKE ELMO
Inspection Statistics Report - Detail by Permit Kind
 Actual Date From: 6/16/2016 To: 6/16/2016
 Permit Type: All Property Type: All Construction Type: All

Inspection Type	Pass	Fail	No Status	Reinsp	Period Total	YTD Total
<i>BUILDING/COMMERCIAL/ALTERATION</i>	0	0	0	0	0	1
<i>BUILDING/COMMERCIAL/FIRE SUPPRESSION</i>	0	0	0	0	0	2
<i>BUILDING/COMMERCIAL/HVAC</i>	0	0	0	0	0	2
<i>BUILDING/COMMERCIAL/NEW CONSTRUCTION</i>	0	0	1	0	1	52
<i>BUILDING/COMMERCIAL/REMODEL</i>	0	0	0	0	0	11
<i>BUILDING/COMMERCIAL/TENNANT BUILDOUT</i>	0	0	0	0	0	10
<i>BUILDING/COMMERCIAL/TENNANT SPACE REMODEL</i>	0	0	0	0	0	12
<i>BUILDING/MANUFACTURED HOME/ROOFING</i>	0	0	0	0	0	4
<i>BUILDING/PUBLIC/ALTERATION</i>	0	0	0	0	0	2
<i>BUILDING/PUBLIC/GRADING</i>	0	0	1	0	1	22
<i>BUILDING/PUBLIC/NEW CONSTRUCTION</i>	0	0	0	0	0	1
<i>BUILDING/PUBLIC/REMODEL</i>	0	0	0	0	0	5
<i>BUILDING/PUBLIC/SOLAR PANEL INSTALL</i>	0	0	0	0	0	2
<i>BUILDING/SINGLE FAMILY ATTACHED/FIRE SUPPRESSION</i>	0	0	0	0	0	3
<i>BUILDING/SINGLE FAMILY ATTACHED/NEW CONSTRUCTION</i>	11	0	0	0	11	312
<i>BUILDING/SINGLE FAMILY/ACCESSORY BUILDING</i>	0	0	0	0	0	6
<i>BUILDING/SINGLE FAMILY/ADDITION</i>	0	0	0	0	0	5

Inspection Type	Pass	Fail	No Status	Reinsp	Period Total	YTD Total
<i>BUILDING/SINGLE FAMILY/ALTERATION</i>	0	0	0	0	0	16
<i>BUILDING/SINGLE FAMILY/BASEMENT FINISH</i>	3	3	0	0	6	72
<i>BUILDING/SINGLE FAMILY/DECK</i>	1	0	0	0	1	26
<i>BUILDING/SINGLE FAMILY/DEMOLITION</i>	0	0	0	0	0	5
<i>BUILDING/SINGLE FAMILY/DOOR</i>	0	0	0	0	0	1
<i>BUILDING/SINGLE FAMILY/DRAIN TILE WATERPROOFING</i>	0	0	0	0	0	1
<i>BUILDING/SINGLE FAMILY/MANUFACTURED HOME</i>	0	0	0	0	0	28
<i>BUILDING/SINGLE FAMILY/NEW CONSTRUCTION</i>	11	0	0	2	13	1,610
<i>BUILDING/SINGLE FAMILY/POOL</i>	0	0	0	0	0	7
<i>BUILDING/SINGLE FAMILY/REMODEL</i>	0	0	0	0	0	64
<i>BUILDING/SINGLE FAMILY/REPLACE/REPAIR</i>	0	0	0	0	0	7
<i>BUILDING/SINGLE FAMILY/ROOFING</i>	0	0	0	0	0	36
<i>BUILDING/SINGLE FAMILY/SIDING</i>	2	0	0	0	2	11
<i>BUILDING/SINGLE FAMILY/TANK REMOVAL</i>	0	0	0	0	0	3
<i>BUILDING/SINGLE FAMILY/WINDOWS</i>	0	0	0	0	0	17
<i>ELECTRICAL/COMMERCIAL/ALTERATION</i>	0	0	0	0	0	2
<i>ELECTRICAL/MANUFACTURED HOME/ALTERATION</i>	0	0	0	0	0	2
<i>ELECTRICAL/SINGLE FAMILY/ALTERATION</i>	0	0	0	0	0	9
<i>ELECTRICAL/SINGLE FAMILY/NEW CONSTRUCTION</i>	0	0	0	0	0	1
<i>MECHANICAL/COMMERCIAL/ALTERATION</i>	0	0	0	0	0	1

Inspection Type	Pass	Fail	No Status	Reinsp	Period Total	YTD Total
<i>MECHANICAL/COMMERCIAL/HVAC</i>	0	0	0	0	0	3
<i>MECHANICAL/MANUFACTURED HOME/HVAC</i>	0	0	0	0	0	10
<i>MECHANICAL/SINGLE FAMILY/FIREPLACE</i>	0	0	0	0	0	9
<i>MECHANICAL/SINGLE FAMILY/HVAC</i>	0	0	0	0	0	28
<i>MECHANICAL/SINGLE FAMILY/NEW CONSTRUCTION</i>	0	0	0	0	0	1
<i>MECHANICAL/SINGLE FAMILY/REPLACE/REPAIR</i>	0	0	0	0	0	1
<i>PLUMBING/COMMERCIAL/FIXTURE INSTALLATION / APPLIAN</i>	0	0	0	0	0	2
<i>PLUMBING/PUBLIC/SEWER CONNECTION</i>	0	0	0	0	0	2
<i>PLUMBING/SINGLE FAMILY/FIXTURE INSTALLATION / APPLI</i>	0	0	0	0	0	8
<i>PLUMBING/SINGLE FAMILY/NEW CONSTRUCTION</i>	0	0	0	0	0	4
<i>PLUMBING/SINGLE FAMILY/OTHER FIXED</i>	0	0	0	0	0	1
<i>PLUMBING/SINGLE FAMILY/REMODEL</i>	0	0	0	0	0	1
<i>PLUMBING/SINGLE FAMILY/REPLACE/REPAIR</i>	0	0	0	0	0	6
<i>PLUMBING/SINGLE FAMILY/SEWER & WATER CONNECTION</i>	0	0	0	0	0	1
<i>PLUMBING/SINGLE FAMILY/SEWER CONNECTION</i>	0	0	0	0	0	3
<i>PLUMBING/SINGLE FAMILY/WATER CONNECTION</i>	0	0	0	0	0	14
<i>PLUMBING/SINGLE FAMILY/WATER SOFTNER</i>	0	0	0	0	0	1
<i>ZONING/COMMERCIAL/FENCE</i>	0	0	0	0	0	2
<i>ZONING/COMMERCIAL/SIGN</i>	0	0	0	0	0	3
<i>ZONING/SINGLE FAMILY/ACCESSORY BUILDING</i>	0	0	0	0	0	1

Inspection Type	Pass	Fail	No Status	Reinsp	Period Total	YTD Total
<i>ZONING/SINGLE FAMILY/FENCE</i>	0	0	0	0	0	1
Report Total	28	3	2	2	35	2,473



MAYOR AND COUNCIL COMMUNICATION

DATE: June 21, 2016

CONSENT

ITEM #: 6

MOTION

AGENDA ITEM: 2016 Non-represented Wage/Salary Adjustments

SUBMITTED BY: Kristina Handt, City Administrator

BACKGROUND:

The HR Committee previously decided that cost of living increases or other wage adjustments would not occur in January as had previously been the practice. The new program is to review staff in January, monitor their progress and then approve wage/salary adjustments effective the first pay period in July. I learned of this process in April.

When I began with the City the end of March, no reviews had been given at the beginning of the year as proposed. Some 360 reviews for the fire chief and public works superintendent had been completed. In consultation with the HR Committee, it was decided that any employee who had completed their 6 month orientation period by the end of April, were not represented by the union (their wages are subject to negotiations) and had not announced a retirement would be given a review in June. There were four positions that met this criteria: Finance Director, Fire Chief, City Clerk, and Building Inspector.

ISSUE BEFORE COUNCIL:

Should the proposed wage and salary adjustments be approved effective July 4, 2016?

PROPOSAL DETAILS/ANALYSIS:

This month reviews were given to individuals in the four above named positions. Work performance for the last two months was reviewed and goals were established for the coming year. Proposed increases are based off of performance and time since last increase. The latter part was to hold harmless any employees who went more than a year since their last increase due to the change in policy from the HR Committee.

I'm recommending the following wage and salary adjustments effective July 4, 2016 (the first pay period in July):

Name	Current Hourly Wage or Biweekly Salary	Proposed Hourly Wage or Biweekly Salary
Finance Director Cathy Bendel	\$2,895.23 biweekly salary	\$3,003.80 biweekly salary
Fire Chief Greg Malmquist	\$2,705.09 biweekly salary	\$2,806.53 biweekly salary
City Clerk Julie Johnson	\$2,308.00 biweekly salary	\$2,365.77 biweekly salary
Building Inspector Toni Liljedahl	\$30/hour	\$30.68/hour

FISCAL IMPACT:

The 2016 budget contains \$20,000 for wage adjustments. The impact to the 2016 budget would be \$4,813.45 for the remainder of the year.

OPTIONS:

- 1) Approve the pay adjustments as presented
- 2) Approve the pay adjustments with a different effective date
- 3) Approve different pay adjustments
- 4) Do not approve any pay adjustments

RECOMMENDATION:

If removed from the consent agenda:

Motion to approve the 2016 non-represented pay adjustment as presented.



MAYOR & COUNCIL COMMUNICATION

DATE: June 21, 2016

CONSENT

ITEM # 7

AGENDA ITEM: Downtown Phase 1 Improvements – Approve Washington County Cooperative Agreement Payment No. 2

SUBMITTED BY: Chad Isakson, Project Engineer

THROUGH: Kristina Handt, City Administrator

REVIEWED BY: Jack Griffin, City Engineer
Cathy Bendel, Finance Director

SUGGESTED ORDER OF BUSINESS *if removed from the Consent Agenda*:

- Questions from Council to Staff Mayor Facilitates
- Public Input, if Appropriate.....Mayor Facilitates
- Call for Motion Mayor & City Council
- Discussion Mayor & City Council
- Action on Motion Mayor Facilitates

POLICY RECOMMENDER: Engineering.

FISCAL IMPACT:

No additional fiscal impact. Partial payment is proposed in accordance with Cooperative Agreement No. 10196 with Washington County for the Downtown Phase 1 Improvements.

SUMMARY AND ACTION REQUESTED:

The City Council is respectfully requested to consider approving, *as part of the Consent Agenda*, payment to Washington County in the amount of \$5,047,169.46 per the attached invoice and per section G.2 of Cooperative Agreement No. 10196 with Washington County for the Downtown Phase 1 Improvements. Per the agreement the second payment is due on June 23, 2016 in the amount equal to estimated remainder of the Phase 1 Total City Cost.

LEGISLATIVE HISTORY/BACKGROUND INFORMATION:

In June 2015, the City of Lake Elmo entered into Cooperative Agreement No. 9660 with Washington County to formalize the County as the project lead agency for the Downtown Phase 1 and Phase 2 Improvements, including preliminary design, final design, right-of-way acquisition, construction inspection/administration, and construction costs. The Cooperative Agreement was revised as Cooperative Agreement No. 10196 at the May 3, 2016 meeting to address project changes in scope and costs that had occurred through the construction of the Phase 1 Improvements and the final design for the Phase 2 Improvements. The agreement further addresses the updated cost participation estimates by the City and payment schedule thereof.

The City's payment schedule, as identified in Section G.1 of Cooperative Agreement No. 10196 is summarized as follows:

1. January 15, 2016 – an amount equal to 10% of the Estimated Phase 1 Total City Cost. Payment 1 made in the amount of \$498,866.35.
2. June 15, 2016 – an amount equal to 90% of the Estimated Phase 1 Total City Cost. The agreement identifies the estimated amount of \$5,058,047.65.
3. January 15, 2017 – an amount equal to 20% of the Estimated Phase 2 Total City Cost. The agreement identifies the estimated amount of \$951,788.
4. June 15, 2017 – an amount equal to 80% of the Estimated Phase 2 Total City Cost. The agreement identifies the estimated amount of \$3,807,154.

Washington County recently submitted the second invoice per this agreement in the amount of \$5,047,169.46 which reflects the most accurate information available at the time of the invoice. This amount is slightly less than the estimated amount in the agreement but the project construction and subsequent costs have not been finalized. The Cooperative Agreement identifies a final "clean up" invoice to be generated once the project is closed out and all costs are known.

RECOMMENDATION:

Staff is recommending that the City Council approve, *as part of the Consent Agenda*, payment to Washington County in the amount of \$5,047,169.46 per the attached invoice and per Section G.2 of Cooperative Agreement No. 10196 with Washington County for the Downtown Phase 1 Improvements. If removed from the consent agenda, the recommended motion for the action is as follows:

“Move to approve payment to Washington County in the amount of 5,047,169.46 per the attached invoice and per Section G.2 of Cooperative Agreement No. 10196 with Washington County for the Downtown Phase 1 Improvements.”

ATTACHMENT(S):

1. Washington County Invoice No. 88142 and supporting detail.

WASHINGTON COUNTY
Public Works
11660 MYERON ROAD NORTH
STILLWATER, MN 55082
(612)430-4342

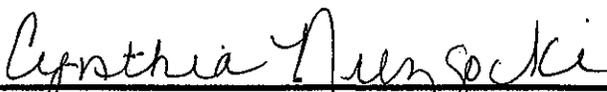
INVOICE: 88142/82542

DATE: May 24th 2016

TO: Lake Elmo
3800 Laverne Avenue North
Lake Elmo MN 55042-9629

Date	Item	Labor Hours + Fringe	Amount
05/24/16	CSAH 17 (Lake Elmo Avenue) Phase 1 City / County Cooperative Agreement No. 10196		\$5,047,169.46
***** Due Date: June 23rd 2016			
TOTAL DUE:			\$5,047,169.46

I declare under the penalties of law that this account claim or demand, is just and correct and that no part of it has been paid.


Washington County Public Works

PLEASE RETURN DUPLICATE COPY OF INVOICE WITH PAYMENT

Lake Elmo Old Village
 Invoice Summary
 5/16/2016

PHASE I - COST SUMMARY FOR PHASE 1 - CITY/COUNTY AGREEMENT #10196							
	Estimated Total Cost (from Coop Agree)	Currently Invoiced Amount	City Cost %	Current City Cost	Amount Paid	Amount Due	Note:
<i>Right-of-Way and Easements</i>							
Upper 33rd St. N, 36th St. N. and Laverne Avenue	\$ 91,902.00	\$ 91,902.10	100%	\$ 91,902.10	\$ 8,945.21	\$ 82,956.89	Attachment A
Regional Drainage Pond	\$ 1,154,190.00	\$ 1,158,325.00	50%	\$ 579,162.50	\$ 21,370.33	\$ 557,792.17	Attachment A
<i>Engineering</i>							
Preliminary Design	\$ 131,600.00	\$ 131,600.00	91.2%	\$ 120,019.20	\$ 12,001.92	\$ 108,017.28	Attachment B
Final Design	\$ 233,460.00	\$ 233,460.00	91.2%	\$ 212,915.52	\$ 21,291.55	\$ 191,623.97	Attachment B
Construction Inspection/Administration	\$ 295,200.00	\$ 290,528.92	91.2%	\$ 264,962.38	\$ 29,463.07	\$ 235,499.30	Attachment C
Precondition Survey	\$ 27,133.00	\$ 21,173.25	91.2%	\$ 19,310.00	\$ -	\$ 19,310.00	Attachment D
<i>Construction</i>							
	\$ 4,668,601.00	\$ 4,668,601.00	91.2%	\$ 4,257,764.11	\$ 405,794.27	\$ 3,851,969.85	See Cooperative Agreement
TOTAL	\$ 6,602,086.00	\$ 6,595,590.27		\$ 5,546,035.81	\$ 498,866.35	\$ 5,047,169.46	

PHASE II - COST SUMMARY FOR PHASE 2 - CITY/COUNTY AGREEMENT #10196							
	Estimated Total Cost (from Coop Agree)	Currently Invoiced Amount	City Cost %	Current City Cost	Amount Paid	Amount Due	
<i>Right-of-Way and Easements</i>							
CSAH 17 (Lake Elmo Ave)	\$ 284,760.00	\$ 153,399.75	55%	\$ 84,369.86			
30th Street N.	\$ 147,550.00	\$ 98,721.72	100%	\$ 98,721.72			
<i>Engineering</i>							
Preliminary Design	\$ 189,400.00	\$ 189,139.45	56.1%	\$ 106,107.23			
Final Design	\$ 461,000.00	\$ 461,000.00	56.1%	\$ 258,621.00			
Construction Inspection/Administration	\$ 578,200.00		56.1%	\$ -			
Precondition Survey	\$ 27,173.00						
<i>Construction</i>							
	\$ 6,593,389.00						
TOTAL		\$ 902,260.92		\$ 547,819.81			

GRAND TOTAL (BOTH PHASES)	\$ 7,497,851.19	\$ 6,093,855.62	\$ 5,047,169.46
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MAYOR & COUNCIL COMMUNICATION

DATE: June 21, 2016

CONSENT

ITEM # 8

AGENDA ITEM: Downtown Phase 2 Street, Drainage, and Utility Improvements – Change Order No. 1 Sewer Alignment Revisions along Lake Elmo Avenue

SUBMITTED BY: Chad Isakson, Assistant City Engineer

THROUGH: Kristina Handt, City Administrator

REVIEWED BY: Cathy Bendel, Finance Director
Jack Griffin, City Engineer

SUGGESTED ORDER OF BUSINESS *if removed from the Consent Agenda*:

- Questions from Council to Staff Mayor Facilitates
- Public Input, if Appropriate.....Mayor Facilitates
- Call for Motion Mayor & City Council
- Discussion Mayor & City Council
- Action on Motion Mayor Facilitates

POLICY RECOMMENDER: Engineering.

FISCAL IMPACT: Construction Contract decrease of \$2,321.08.

This change order decreases the construction contract amount for the project by \$2,321.08. However, the change to the overall project results in a savings of \$18,000 when taking all project costs into consideration including construction costs, engineering, easement acquisition, and assessment revenue.

SUMMARY AND ACTION REQUESTED:

The City Council is respectfully requested to consider approving Change Order No. 1 for the Downtown Phase 2 Street, Drainage, and Utility Improvements to revise the Sewer Alignment along Lake Elmo Avenue between 34th Street and 35th Street.

LEGISLATIVE HISTORY/BACKGROUND INFORMATION:

The original plans included a sanitary sewer design that routed the sewer along a back yard easement of the private properties located on the west side of Lake Elmo Avenue between 34th Street and 35th Street. The design provided a sewer main location that facilitated easier connections for two existing residential properties, provided sewer service to one additional residential property, and provided temporary roadway access to residents at the dead end roads of 34th Street and 35th Street as construction progresses along Lake Elmo Avenue. Staff originally requested the easement to be granted at no cost to the City since the sewer alignment appeared to be in the best interests of the property owners as well as the City. After some discussions with the property owners the City had the County obtain an appraisal and offered \$41,900 for the acquisition of the permanent easement. While the idea of routing the sewer along the back yard easement has not been completely declined, the property owner is not willing to agree to the proposed terms of the easement with the City within the time frame necessary to accommodate the sewer installation schedule.

Staff is therefore, recommending a change order to revise the sanitary sewer alignment from the back yard easement to the public right-of-way of Lake Elmo Avenue. This change order presents an alternative alignment that remains within County right-of-way along Lake Elmo Avenue, removal of a temporary roadway, and maintaining property owner's connection to the existing 201 system for a decrease in the construction contract by the amount of \$2,321.08. In addition to the construction contract changes, the realignment results in additional engineering costs to revise the plans, a loss in assessment revenue by 1 REC unit, and a savings in easement acquisition of \$41,900; for total project cost savings of \$18,000.

RECOMMENDATION:

Staff is recommending that the City Council approve, *as part of the consent agenda*, Change Order No. 1 for the for the Downtown Phase 2 Street, Drainage, and Utility Improvements to revise the Sewer Alignment along Lake Elmo Avenue between 34th Street and 35th Street. This Change Order decreases the construction contract amount by \$2,321.08. If removed from the consent agenda, the recommended motion for the action is as follows:

“Move to approve Change Order No. 1 for the for the Downtown Phase 2 Street, Drainage, and Utility Improvements; reducing the construction contract amount by \$2,321,08”.

ATTACHMENT(S):

1. Change Order No. 1.
2. Exhibit – Sewer Alignment Revisions.

CHANGE ORDER NO. 1

Page 1 of 2

CONTRACTOR: A_1 Contracting		FEDERAL PROJECT NO.	CITY PROJECT NO. 2014-137 SAP 082-617-007; SAP 206-108-002
ADDRESS: 408 26 th Avenue, Bloomer WI 54724	LOCATION OF WORK City of Lake Elmo, Washington County		
This Contract uses MnDOT Standard Specifications for Construction 2014 Edition			

This Contract is between the State of Minnesota, acting through its Commissioner of Transportation, and Contractor as follows:

Issue:

The City decided to change the sanitary sewer alignment on 34th and 35th Avenue North to eliminate an easement.

The Engineer has determined the Contract needs to be revised in accordance with specification 1402.5.

Resolution and Authorization:

1. The Contractor will delete the original sanitary utility sheets and the other associated plan sheets that are affected and use the attached revised sheets dated 6/14/2016 to construct the sanitary sewer and services.
2. Payment for this work will be at Contract Unit Prices, as provided in MnDOT Specification 1904 , and as negotiated as shown in the estimate of cost.

ESTIMATE OF COST**INCREASE/DECREASE**

ITEM NO.	ITEM	UNIT	UNIT PRICE		QUANTITY	AMOUNT	GROUP
2101.502	Clearing	TREE	\$300.00	*	(8)	(\$2,400.00)	
2105.507	Grubbing	TREE	\$250.00	*	(8)	(\$2,000.00)	
2105.604	Geotextile Fabric Type V	SQ YD	\$3.00	*	(818)	(\$2,454.00)	
2118.607	Aggregate Surfacing (CV) Class 6	SQ YD	\$27.00	*	(59)	(\$1,581.00)	
2211.503	Aggregate Base (CV) Class 6	CU YD	\$24.00	*	(409)	(\$9,816.00)	
2503.511	8" PVC Pipe Sewer (SDR 26)	LIN FT	\$50.00	*	181	\$9,050.00	
253.602	8" x 6" PVC WYE	EACH	\$200.00	*	(1)	(\$200.00)	
2503.603	6" PVC Sanitary Service Pipe (SCH 40)	LIN FT	\$37.00	*	21	\$777.00	
2506.603	Construct Drainage Structure Des 4007 (0' - 10')	EACH	\$3,670.00	*	1	\$3,670.00	
2506.603	Construct Drainage Structure (Extra Depth)	LIN FT	\$175.00	*	3.17	\$554.75	
2506.516	Casting Assembly	EACH	\$1,040.00	*	1	\$1,040.00	
2575.505	Sodding Type Lawn	SQ YD	\$5.50	*	(460)	(\$2,531.83)	
**	Remove and Replace Sewer Service (LE INN)	LUMP SUM	\$3,570.00		1	\$3,570.00	
					Total	(\$2,321.08)	

* Denotes Contract Unit Price

CHANGE ORDER NO. 1

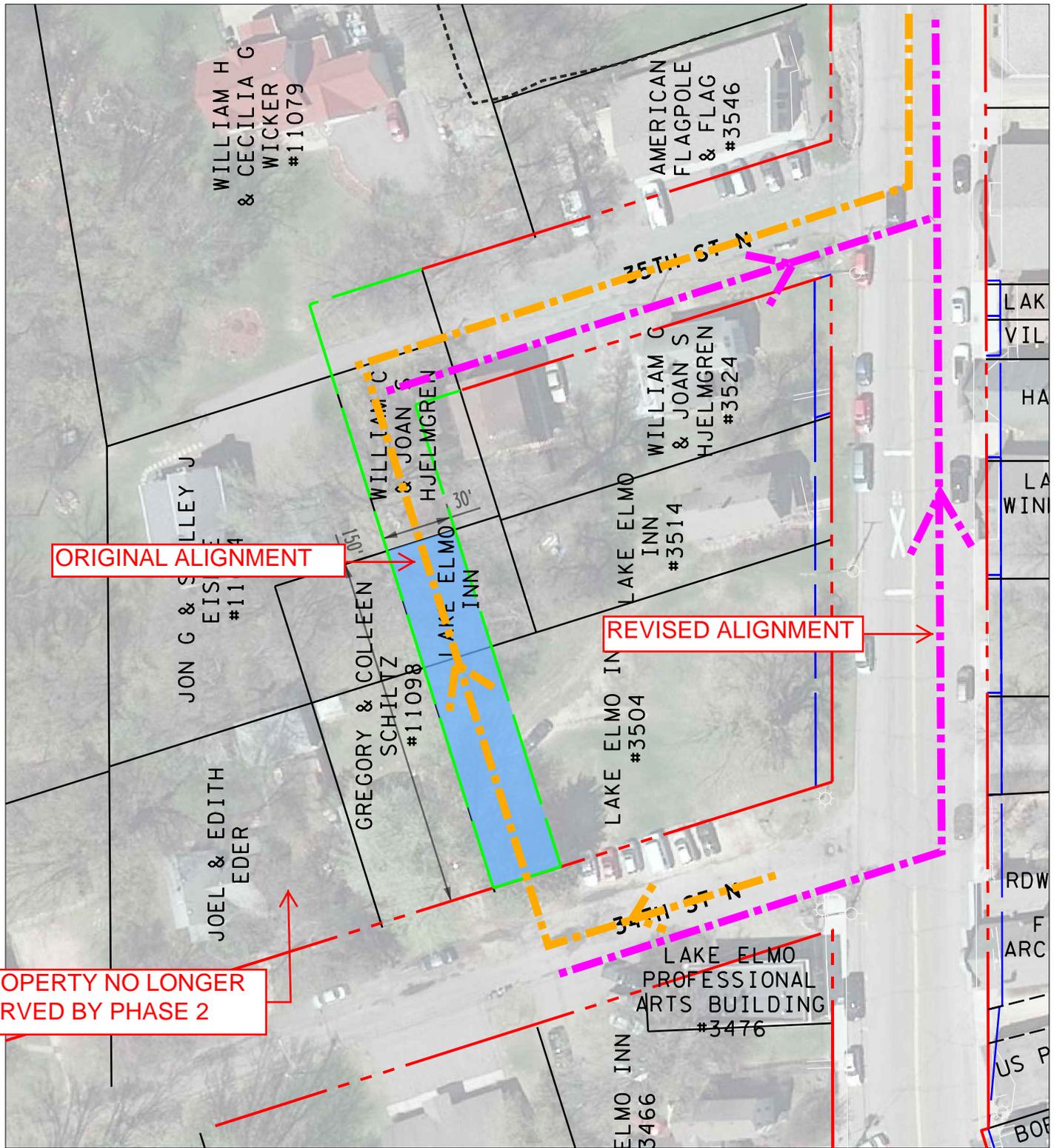
Signature	Date
Project Engineer/Supervisor	
Contractor Authorized Representative	
*Assistant District Engineer	
**Local Agency	
***Consultant Contract Administrator	

- * Required for Work Orders that exceed \$25,000.00
- ** Required if work funded wholly or in part by a Local Agency
- *** Recommendation for Approval

ATTACHMENTS: By signing this agreement, the Contractor acknowledges receipt of the specified attachments (if applicable.)

- Plans (Specify plan sheets attached)
- Specifications (Specify Specifications attached)
- Other _____

Original to Project File
 Copy to Contractor, Construction and Innovative Contracting (submit with Final);
 Copy to Local Agency and MN/DOT Municipal Agreement Unit if funded wholly or in part by Local Agency Funds



ORIGINAL ALIGNMENT

REVISED ALIGNMENT

PROPERTY NO LONGER SERVED BY PHASE 2

LEGEND

- - - - - CONST. LIMITS
- EXISTING FEATURES
- PROPOSED FEATURES
- TREE REMOVAL
- TREE REMOVAL

AREAS (SQ FT)

NEW R/W	NEW P.E.	T.E.
	4510	

PID # 13.029.21.23.0035
 13.029.21.32.0022

DRAFT

**LAKE ELMO INN
 UTILITY EASEMENT**

DATE: 6/1/2015



MAYOR & COUNCIL COMMUNICATION

DATE: June 21, 2016
CONSENT
ITEM # 9

AGENDA ITEM: CSAH 15 (Manning) / CSAH 10 Intersection Improvements – Approve Washington County Cooperative Agreement Payment No. 1

SUBMITTED BY: Jack Griffin, City Engineer

THROUGH: Kristina Handt, City Administrator

REVIEWED BY: Cathy Bendel, Finance Director

SUGGESTED ORDER OF BUSINESS *if removed from the Consent Agenda*:

- Questions from Council to Staff Mayor Facilitates
- Public Input, if Appropriate.....Mayor Facilitates
- Call for Motion Mayor & City Council
- Discussion..... Mayor & City Council
- Action on Motion..... Mayor Facilitates

POLICY RECOMMENDER: Engineering.

FISCAL IMPACT:

None. Partial payment is proposed in accordance with Cooperative Agreement No. 10144 with Washington County for the CSAH 15 (Manning) / CSAH 10 Intersection Improvements.

SUMMARY AND ACTION REQUESTED:

The City Council is respectfully requested to consider approving, *as part of the Consent Agenda*, payment to Washington County in the amount of \$14,768.92 per the attached invoice and per section G of Cooperative Agreement No. 10144 with Washington County for the CSAH 15 (Manning) / CSAH 10 Intersection Improvements.

LEGISLATIVE HISTORY/BACKGROUND INFORMATION:

In April 2016, the City of Lake Elmo entered into Cooperative Agreement No. 10144 with Washington County for the CSAH 15 (Manning) / CSAH 10 Intersection Improvements. The improvements include a signalized intersection at CSAH 10 and at the south entrance of the

Oakland Jr. High School, associated intersection turn lane improvements, drainage provisions, and a bituminous trail along the boulevard adjacent to Oakland Jr. High School. The Cooperative Agreement sets forth the provisions that authorizes the County to implement the improvements including engineering design, construction administration, testing, right-of-way and easement acquisition, including the use of eminent domain, and retaining a contractor for project construction. The Agreement also outlines the City's obligations for cost participation including payment terms and schedule. The costs are estimated for the purpose of the Cooperative Agreement, however the actual cost participation by the City will be determined using the City's share of the actual project costs for each respective cost participation item.

In accordance with the County Cost Participation Policy, the County has submitted Invoice 89124 in the amount of \$14,768.92 which includes 10% of the estimated City construction cost participation plus 100% of the Right-of-Way costs incurred to date on the project. The amount invoiced is within the Council approved budget in the agreement.

RECOMMENDATION:

Staff is recommending that the City Council approve, *as part of the Consent Agenda*, payment to Washington County in the amount of \$14,768.92 per the attached invoice and supporting documentation. If removed from the consent agenda, the recommended motion for the action is as follows:

“Move to approve payment to Washington County in the amount of \$14,768.92 per the attached invoice and per section G of Cooperative Agreement No. 10144 with Washington County for the CSAH 15 (Manning) / CSAH 10 Intersection Improvements.”

ATTACHMENT(S):

1. Washington County Invoice No. 89124 and supporting detail.



WACO PUBLIC WORKS DEPT
 11660 MYERON RD N
 STILLWATER MN 55082

<i>Invoice</i>	
Invoice Number:	89124
Account Number:	20498
Due Date	7/2/16
Amount Enclosed:	\$ _____
Federal Tax Id:41-6005919	

To: LAKE ELMO CITY
 3800 LAVERNE AVE N
 LAKE ELMO MN 55042-9629

Please return top portion with payment. Thank You.

Invoice						
Date	Number	Type	Due Date	Remark	Amount	
6/9/16	89124	Invoice	7/2/16	CSAH 15/10 Intersection	\$14,768.92	
			7/2/16	*****		
			7/2/16	Invoice for initial 10% of		
			7/2/16	estimated construction		
			7/2/16	cost, design engineering		
			7/2/16	and right of way		
			7/2/16	*****		
			7/2/16	City/County Cooperative		
			7/2/16	Agreement No.10144		
I declare under the penalties of law that this account claim or demand, is just and correct and no part of it has been paid.					Invoice Total	\$14,768.92
Please make check payable to Washington County and mail to the address above.					Sales Tax	
					Balance Due	\$14,768.92

Summary Billing Documentation
 City of Lake Elmo/Washington County Agreement #10144
 Date: 6/8/16

Construction Cost Section From Valley Paving, Inc. Bid (Initial 10% Cost)

Item No.	Item Description	Unit	Bid Unit Price	Quantity	Share	Amount
2521.501	Concrete Curb & Gutter Design B424	LIN FT	\$ 13.80	1390	50%	\$ 9,591.00
2521.501	6" Concrete Walk	SQ FT	\$ 8.24	1010	50%	\$ 4,161.20
2521.511	3" Bituminous Walk	SQ FT	\$ 1.28	9160	50%	\$ 5,862.40
	Mobilization & Traffic Control	LUM SUM	\$ 121,000.00	1	0.48%	\$ 580.80
Estimated Total Construction Cost						\$ 20,195.40
Initial Invoice Based on Bid (10%)						\$ 2,019.54

Design Engineering & Construction Engineering Section (Final Engineering Costs)

Amount
\$ 121.00

Right of Way Cost Section (Final Right of Way Costs)

Description	Payee	Check #	Amount
Emerson Property Easement	Emerson Properties Partnership	421829	\$ 22,960.69
Final Right of Way Cost			\$ 22,960.69
Final City Cost Share for Right of Way (55%)			\$ 12,628.38

**Total due for construction,
 engineering, and right of way \$ 14,768.92**



MAYOR & COUNCIL COMMUNICATION

DATE: June 21, 2016
CONSENT
ITEM # 10

AGENDA ITEM: 2016 Street, Drainage, and Utility Improvements – Pay Request No. 1

SUBMITTED BY: Chad Isakson, Project Engineer

THROUGH: Kristina Handt, City Administrator

REVIEWED BY: Jack Griffin, City Engineer
Cathy Bendel, Finance Director

SUGGESTED ORDER OF BUSINESS *if removed from the Consent Agenda*:

- Questions from Council to Staff Mayor Facilitates
- Public Input, if Appropriate.....Mayor Facilitates
- Call for Motion Mayor & City Council
- Discussion..... Mayor & City Council
- Action on Motion..... Mayor Facilitates

POLICY RECOMMENDER: Engineering.

FISCAL IMPACT: None. Partial payment is proposed in accordance with the Contract for the project. Payment remains within the authorized scope and budget.

SUMMARY AND ACTION REQUESTED:

The City Council is respectfully requested to consider approving Pay Request No. 1 for the 2016 Street, Drainage, and Utility Improvements project.

LEGISLATIVE HISTORY/BACKGROUND INFORMATION:

Hardrives, Inc., the Contractor for the project, has submitted Partial Pay Estimate No. 1 in the amount of \$278,901.99. The request has been reviewed and payment is recommended in the amount requested. In accordance with the contract documents, the City has retained 5% of the total work completed. The amount retained is \$14,679.05.

RECOMMENDATION:

Staff is recommending that the City Council consider approving, *as part of the Consent Agenda*, Pay Request No. 1 for the 2016 Street, Drainage, and Utility Improvements project. If removed from the consent agenda, the recommended motion for the action is as follows:

“Move to approve Pay Request No. 1 to Hardrives, Inc. in the amount of \$278,901.99 for the 2016 Street, Drainage, and Utility Improvements”.

ATTACHMENT(S):

1. Partial Pay Estimate No. 1.

PROJECT PAY FORM

PARTIAL PAY ESTIMATE NO. <u>1</u>	FOCUS ENGINEERING, inc.
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2016 STREET, DRAINAGE AND UTILITY IMPROVEMENTS PROJECT NO. 2015.129	PERIOD OF ESTIMATE FROM <u>4/18/2016</u> TO <u>5/31/2016</u>
--	---

PROJECT OWNER: CITY OF LAKE ELMO 3800 LAVERNE AVENUE NORTH LAKE ELMO, MN 55042 ATTN: JACK GRIFFIN, CITY ENGINEER	CONTRACTOR: HARDRIVES, INC. 14475 QUIRAM DRIVE ROGERS, MN 55374 ATTN: MICHAEL LEUER, PROJECT MANAGER
---	---

CONTRACT CHANGE ORDER SUMMARY				PAY ESTIMATE SUMMARY	
No.	Approval Date	Amount			
		Additions	Deductions		
				1. Original Contract Amount	\$1,189,610.33
				2. Net Change Order Sum	\$0.00
				3. Revised Contract (1+2)	\$1,189,610.33
				4. *Work Completed	\$293,581.04
				5. *Stored Materials	\$0.00
				6. Subtotal (4+5)	\$293,581.04
				7. Retainage* <u>5.0%</u>	\$14,679.05
				8. Previous Payments	\$0.00
				9. Amount Due (6-7-8)	\$278,901.99
TOTALS		\$0.00	\$0.00		
NET CHANGE		\$0.00			

*Detailed Breakdown Attached

CONTRACT TIME					
START DATE:	<u>4/18/2016</u>	ORIGINAL DAYS	<u>165</u>	ON SCHEDULE YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
SUBSTANTIAL COMPLETION:	<u>8/12/2016</u>	REVISED DAYS	<u>0</u>		
FINAL COMPLETION:	<u>9/30/2016</u>	REMAINING	<u>122</u>		

ENGINEER'S CERTIFICATION: The undersigned certifies that the work has been reviewed and to the best of their knowledge and belief, the quantities shown in this estimate are correct and the work has been performed in accordance with the contract documents.	FOCUS Engineering, inc. _____ ENGINEER <u>6/3/2016</u> DATE
--	---

CONTRACTOR'S CERTIFICATION: The undersigned Contractor certifies that to the best of their knowledge, information and belief the work covered by this payment estimate has been completed in accordance with the contract documents, that all amounts have been paid by the contractor for work for which previous payment estimates was issued and payments received from the owner, and that current payment shown herein is now due.	CONTRACTOR BY <u>6/3/16</u> DATE
--	---

APPROVED BY OWNER: CITY OF LAKE ELMO, MINNESOTA	
BY _____	BY _____
DATE _____	DATE _____

**2016 STREET, DRAINAGE AND UTILITY IMPROVEMENTS
CITY OF LAKE ELMO, MINNESOTA
PROJECT NO. 2015.129**



ITEM	DESCRIPTION OF PAY ITEM	UNIT	CONTRACT			THIS PERIOD		TOTAL TO DATE	
			QUANTITY	UNIT PRICE	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT
DIVISION 1 - KIRKWOOD AVENUE NORTH									
1	MOBILIZATION	LS	1	\$9,000.00	\$9,000.00	0.00	\$0.00	0.00	\$0.00
2	TRAFFIC CONTROL	LS	1	\$1,284.36	\$1,284.36	0.00	\$0.00	0.00	\$0.00
3	SILT FENCE	LF	4,428	\$1.00	\$4,428.00	3,825.00	\$3,825.00	3,825.00	\$3,825.00
4	BIOROLL DITCH CHECK	EA	20	\$64.22	\$1,284.40	0.00	\$0.00	0.00	\$0.00
5	SALVAGE MAILBOX	EA	11	\$26.76	\$294.36	0.00	\$0.00	0.00	\$0.00
6	SALVAGE SIGN	EA	3	\$16.05	\$48.15	0.00	\$0.00	0.00	\$0.00
7	SAWCUT BITUMINOUS PAVEMENT	LF	97	\$3.48	\$337.56	0.00	\$0.00	0.00	\$0.00
8	REMOVE & DISPOSE OF EXIST. BITUMINOUS PAVEMENT (DRIVEWAYS)	SY	29	\$3.24	\$93.96	0.00	\$0.00	0.00	\$0.00
9	COMMON EXCAVATION (EV) (P)	CY	2,854	\$13.73	\$39,185.42	0.00	\$0.00	0.00	\$0.00
10	SUBGRADE EXCAVATION (RECONSTRUCT AREAS) (EV)	CY	400	\$7.57	\$3,028.00	0.00	\$0.00	0.00	\$0.00
11	SUBGRADE PREPARATION	RS	19	\$54.06	\$1,027.14	0.00	\$0.00	0.00	\$0.00
12	SELECT GRANULAR BORROW (STREETS) (CV) (P)	CY	2,035	\$14.60	\$29,711.00	0.00	\$0.00	0.00	\$0.00
13	SELECT GRANULAR BORROW (SUBGRADE EXCAV.) (CV)	CY	400	\$14.60	\$5,840.00	0.00	\$0.00	0.00	\$0.00
14	CLASS 6 AGGREGATE BASE (CV) (P)	CY	655	\$27.03	\$17,704.65	0.00	\$0.00	0.00	\$0.00
15	PATCH GRAVEL DRIVEWAY	TN	53	\$19.46	\$1,031.38	0.00	\$0.00	0.00	\$0.00
16	AGGREGATE SHOULDERING	TN	164	\$22.49	\$3,688.36	0.00	\$0.00	0.00	\$0.00
17	TYPE SP 9.5 BITUMINOUS WEARING COURSE MIXTURE (2,B)	TN	511	\$52.65	\$26,904.15	0.00	\$0.00	0.00	\$0.00
18	TYPE SP 12.5 BITUMINOUS NON WEARING COURSE MIXTURE (2,B)	TN	680	\$47.40	\$32,232.00	0.00	\$0.00	0.00	\$0.00
19	BITUMINOUS MATERIAL FOR TACK COAT	GAL	301	\$1.96	\$589.96	0.00	\$0.00	0.00	\$0.00
20	TYPE SP 9.5 BITUMINOUS WEARING COURSE MIXTURE (2,B) (DRIVEWAY)	SY	29	\$15.00	\$435.00	0.00	\$0.00	0.00	\$0.00
21	SAW & SEAL STREET (40' INTERVALS)	LF	1,265	\$2.48	\$3,137.20	0.00	\$0.00	0.00	\$0.00
22	STREET SWEEPING	HR	15	\$0.01	\$0.15	0.00	\$0.00	0.00	\$0.00
23	TEMPORARY ROCK CONSTRUCTION ENTRANCE	EA	1	\$540.55	\$540.55	0.00	\$0.00	0.00	\$0.00
24	CLEAN CULVERT	EA	5	\$324.33	\$1,621.65	0.00	\$0.00	0.00	\$0.00
25	4" PVC PERF EDGE DRAIN W/ BACKFILL & WRAP	LF	1,025	\$7.57	\$7,759.25	0.00	\$0.00	0.00	\$0.00
26	DRAINTILE CLEANOUT	EA	10	\$216.22	\$2,162.20	0.00	\$0.00	0.00	\$0.00
27	PRECAST CONCRETE HEADWALL (DRAIN TILE)	EA	6	\$216.22	\$1,297.32	0.00	\$0.00	0.00	\$0.00
28	DITCH GRADING	LF	196	\$5.41	\$1,060.36	0.00	\$0.00	0.00	\$0.00
29	IMPORT AND PLACE TOPSOIL (LV)	CY	543	\$15.00	\$8,145.00	0.00	\$0.00	0.00	\$0.00
30	SEEDING, FERTILIZER AND WOOD FIBER BLANKET	SY	3,163	\$1.55	\$4,902.65	0.00	\$0.00	0.00	\$0.00
31	INSTALL SALVAGED MAILBOX	EA	11	\$42.81	\$470.91	0.00	\$0.00	0.00	\$0.00
32	INSTALL SALVAGED SIGN	EA	3	\$32.11	\$96.33	0.00	\$0.00	0.00	\$0.00
SUBTOTAL - DIVISION 1					\$209,341.42		\$3,825.00		\$3,825.00
DIVISION 2 - KELVIN AVENUE NORTH - STREETS									
33	MOBILIZATION	LS	1	\$9,000.00	\$9,000.00	1.00	\$9,000.00	1.00	\$9,000.00
34	TRAFFIC CONTROL	LS	1	\$1,284.36	\$1,284.36	0.50	\$642.18	0.50	\$642.18
35	SILT FENCE	LF	4,775	\$1.00	\$4,775.00	3,019.00	\$3,019.00	3,019.00	\$3,019.00
36	BIOROLL DITCH CHECK	EA	7	\$64.22	\$449.54	0.00	\$0.00	0.00	\$0.00
37	CLEARING	EA	3	\$324.33	\$972.99	4.00	\$1,297.32	4.00	\$1,297.32
38	GRUBBING	EA	3	\$259.47	\$778.41	6.00	\$1,556.82	6.00	\$1,556.82
39	SALVAGE MAILBOX	EA	18	\$26.76	\$481.68	21.00	\$561.96	21.00	\$561.96
40	SALVAGE SIGN	EA	10	\$16.05	\$160.50	2.00	\$32.10	2.00	\$32.10
41	SALVAGE WOODEN FENCE	LF	30	\$12.97	\$389.10	20.00	\$259.40	20.00	\$259.40
42	SALVAGE BRICK PAVERS	SF	124	\$2.16	\$267.84	245.00	\$529.20	245.00	\$529.20
43	SAWCUT BITUMINOUS PAVEMENT	LF	305	\$1.84	\$561.20	210.00	\$386.40	210.00	\$386.40
44	SAWCUT CONCRETE PAVEMENT	LF	97	\$2.32	\$225.04	62.00	\$143.84	62.00	\$143.84
45	REMOVE & DISPOSE OF EXIST. CONCRETE CURB AND GUTTER	LF	480	\$3.24	\$1,555.20	480.00	\$1,555.20	480.00	\$1,555.20
46	REMOVE & DISPOSE OF EXIST. BITUMINOUS PAVEMENT	SY	5,224	\$1.62	\$8,462.88	4,000.00	\$6,480.00	4,000.00	\$6,480.00
47	REMOVE & DISPOSE OF EXIST. BITUMINOUS PAVEMENT (DRIVEWAYS)	SY	230	\$2.16	\$496.80	230.00	\$496.80	230.00	\$496.80
48	REMOVE & DISPOSE OF EXIST. CONCRETE PAVEMENT (DRIVEWAYS)	SY	47	\$5.41	\$254.27	47.00	\$254.27	47.00	\$254.27
49	COMMON EXCAVATION (EV) (P)	CY	3,074	\$13.73	\$42,206.02	2,000.00	\$27,460.00	2,000.00	\$27,460.00
50	SUBGRADE EXCAVATION (RECONSTRUCT AREAS) (EV)	CY	375	\$7.57	\$2,838.75	134.00	\$1,014.38	134.00	\$1,014.38
51	SUBGRADE PREPARATION	RS	19	\$54.06	\$1,027.14	19.00	\$1,027.14	19.00	\$1,027.14
52	SELECT GRANULAR BORROW (STREETS) (CV) (P)	CY	1,962	\$14.87	\$29,174.94	1,200.00	\$17,844.00	1,200.00	\$17,844.00
53	SELECT GRANULAR BORROW (SUBGRADE EXCAV.) (CV)	CY	375	\$14.87	\$5,576.25	134.00	\$1,992.58	134.00	\$1,992.58
54	CLASS 6 AGGREGATE BASE (CV) (P)	CY	630	\$27.03	\$17,028.90	400.00	\$10,812.00	400.00	\$10,812.00
55	TYPE SP 9.5 BITUMINOUS WEARING COURSE MIXTURE (2,B)	TN	490	\$52.65	\$25,798.50	0.00	\$0.00	0.00	\$0.00
56	TYPE SP 12.5 BITUMINOUS NON WEARING COURSE MIXTURE (2,B)	TN	653	\$47.40	\$30,952.20	0.00	\$0.00	0.00	\$0.00
57	BITUMINOUS MATERIAL FOR TACK COAT	GAL	290	\$1.96	\$568.40	0.00	\$0.00	0.00	\$0.00
58	TYPE SP 9.5 BITUMINOUS WEARING COURSE MIXTURE (2,B) (DRIVEWAY)	SY	230	\$15.00	\$3,450.00	0.00	\$0.00	0.00	\$0.00
59	SAW & SEAL STREET (40' INTERVALS)	LF	1,150	\$2.48	\$2,852.00	0.00	\$0.00	0.00	\$0.00
60	6" CONCRETE DRIVEWAY PAVEMENT	SY	62	\$46.02	\$2,853.24	0.00	\$0.00	0.00	\$0.00

ITEM	DESCRIPTION OF PAY ITEM	UNIT	CONTRACT			THIS PERIOD		TOTAL TO DATE	
			QUANTITY	UNIT PRICE	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT
61	CONCRETE RIBBON CURB	LF	3,240	\$6.64	\$21,513.60	0.00	\$0.00	0.00	\$0.00
62	SURMOUNTABLE CONCRETE CURB & GUTTER	LF	345	\$10.17	\$3,508.65	0.00	\$0.00	0.00	\$0.00
63	B618 CONCRETE CURB & GUTTER	LF	56	\$12.84	\$719.04	0.00	\$0.00	0.00	\$0.00
64	STREET SWEEPING	HR	20	\$0.01	\$0.20	0.00	\$0.00	0.00	\$0.00
65	TEMPORARY ROCK CONSTRUCTION ENTRANCE	EA	2	\$540.56	\$1,081.12	0.00	\$0.00	0.00	\$0.00
66	CLEAN CULVERT	EA	1	\$324.33	\$324.33	1.00	\$324.33	1.00	\$324.33
67	4" PVC PERF EDGE DRAIN W/ BACKFILL & WRAP	LF	861	\$7.57	\$6,517.77	0.00	\$0.00	0.00	\$0.00
68	12" CORRUGATED STEEL PIPE CULVERT	LF	36	\$28.11	\$1,011.96	36.00	\$1,011.96	36.00	\$1,011.96
69	12" CORRUGATED STEEL PIPE APRON	EA	2	\$259.47	\$518.94	2.00	\$518.94	2.00	\$518.94
70	DRAINTILE CLEANOUT	EA	8	\$216.22	\$1,729.76	0.00	\$0.00	0.00	\$0.00
71	PRECAST CONCRETE HEADWALL (DRAIN TILE)	EA	4	\$270.28	\$1,081.12	0.00	\$0.00	0.00	\$0.00
72	DITCH GRADING	LF	12	\$5.41	\$64.92	0.00	\$0.00	0.00	\$0.00
73	IMPORT AND PLACE TOPSOIL (LV)	CY	702	\$15.00	\$10,530.00	0.00	\$0.00	0.00	\$0.00
74	SEEDING, FERTILIZER AND WOOD FIBER BLANKET	SY	929	\$1.55	\$1,439.95	0.00	\$0.00	0.00	\$0.00
75	SODDING	SY	2,300	\$3.00	\$6,900.00	0.00	\$0.00	0.00	\$0.00
76	INSTALL SALVAGED MAILBOX	EA	18	\$42.81	\$770.58	0.00	\$0.00	0.00	\$0.00
77	INSTALL SALVAGED SIGN	EA	10	\$32.11	\$321.10	0.00	\$0.00	0.00	\$0.00
78	INSTALL WOODEN FENCE	LF	10	\$82.25	\$822.50	0.00	\$0.00	0.00	\$0.00
79	INSTALL SALVAGED BRICK PAVERS	SF	124	\$4.42	\$548.08	0.00	\$0.00	0.00	\$0.00
SUBTOTAL - DIVISION 2					\$253,844.77		\$88,219.82		\$88,219.82
DIVISION 3 - KELVIN AVENUE NORTH - TRUNK WATER MAIN									
80	CONNECT TO EXISTING WATERMAIN	EA	1	\$1,059.49	\$1,059.49	1.00	\$1,059.49	1.00	\$1,059.49
81	HYDRANT EXTENSION	LF	3	\$1,097.33	\$3,291.99	0.00	\$0.00	0.00	\$0.00
82	12" DIP, CL. 52 WATERMAIN	LF	892	\$53.42	\$47,650.64	874.50	\$46,715.79	874.50	\$46,715.79
83	6" DIP, CL. 52 WATERMAIN	LF	53	\$53.95	\$2,859.35	47.50	\$2,562.63	47.50	\$2,562.63
84	1" TYPE "K" COPPER WATER SERVICE	LF	221	\$42.54	\$9,401.34	136.00	\$5,785.44	136.00	\$5,785.44
85	1" CORPORATION STOP	EA	5	\$265.95	\$1,329.75	5.00	\$1,329.75	5.00	\$1,329.75
86	1" CURB STOP WITH BOX	EA	5	\$344.87	\$1,724.35	5.00	\$1,724.35	5.00	\$1,724.35
87	6" HYDRANT ASSEMBLY (8'-6" BURY)	EA	2	\$4,492.02	\$8,984.04	2.00	\$8,984.04	2.00	\$8,984.04
88	6" RES. SEAT GATE VALVE & BOX	EA	2	\$1,291.93	\$2,583.86	2.00	\$2,583.86	2.00	\$2,583.86
89	12" RES. SEAT GATE VALVE & BOX	EA	2	\$3,027.12	\$6,054.24	2.00	\$6,054.24	2.00	\$6,054.24
90	MJ DIP COMPACT FITTINGS	LB	1,104	\$3.68	\$4,062.72	842.00	\$3,098.56	842.00	\$3,098.56
SUBTOTAL - DIVISION 3					\$89,001.77		\$79,898.15		\$79,898.15
DIVISION 4 - KELVIN AVENUE NORTH - LATERAL WATER MAIN									
91	12"X8" WET TAP	EA	1	\$3,481.18	\$3,481.18	1.00	\$3,481.18	1.00	\$3,481.18
92	HYDRANT EXTENSION	LF	3	\$1,189.22	\$3,567.66	0.00	\$0.00	0.00	\$0.00
93	8" DIP, CL. 52 WATERMAIN	LF	535	\$38.06	\$20,362.10	535.00	\$20,362.10	535.00	\$20,362.10
94	6" DIP, CL. 52 WATERMAIN	LF	20	\$53.95	\$1,079.00	20.00	\$1,079.00	20.00	\$1,079.00
95	1" TYPE "K" COPPER WATER SERVICE	LF	266	\$42.54	\$11,315.64	216.00	\$9,188.64	216.00	\$9,188.64
96	1" CORPORATION STOP	EA	6	\$265.95	\$1,595.70	6.00	\$1,595.70	6.00	\$1,595.70
97	1" CURB STOP WITH BOX	EA	6	\$344.87	\$2,069.22	6.00	\$2,069.22	6.00	\$2,069.22
98	6" HYDRANT ASSEMBLY (8'-6" BURY)	EA	1	\$4,492.02	\$4,492.02	1.00	\$4,492.02	1.00	\$4,492.02
99	6" RES. SEAT GATE VALVE & BOX	EA	1	\$1,291.93	\$1,291.93	1.00	\$1,291.93	1.00	\$1,291.93
100	MJ DIP COMPACT FITTINGS	LB	315	\$4.32	\$1,360.80	172.00	\$743.04	172.00	\$743.04
SUBTOTAL - DIVISION 4					\$50,615.25		\$44,302.83		\$44,302.83
DIVISION 5 - STONEGATE 1ST ADDITION - STREETS									
101	MOBILIZATION	LS	1	\$15,000.00	\$15,000.00	0.50	\$7,500.00	0.50	\$7,500.00
102	TRAFFIC CONTROL	LS	1	\$1,926.54	\$1,926.54	0.00	\$0.00	0.00	\$0.00
103	SILT FENCE	LF	207	\$1.00	\$207.00	0.00	\$0.00	0.00	\$0.00
104	INLET PROTECTION	EA	23	\$90.98	\$2,092.54	0.00	\$0.00	0.00	\$0.00
105	CLEARING	EA	1	\$324.33	\$324.33	1.00	\$324.33	1.00	\$324.33
106	GRUBBING	EA	1	\$259.46	\$259.46	1.00	\$259.46	1.00	\$259.46
107	SALVAGE MAILBOX	EA	31	\$26.76	\$829.56	31.00	\$829.56	31.00	\$829.56
108	SALVAGE SIGN	EA	5	\$16.05	\$80.25	0.00	\$0.00	0.00	\$0.00
109	SALVAGE LANDSCAPE ROCK (ISLANDS) (P)	LF	750	\$0.29	\$217.50	0.00	\$0.00	0.00	\$0.00
110	SAWCUT BITUMINOUS PAVEMENT	LF	435	\$2.07	\$900.45	452.50	\$936.68	452.50	\$936.68
111	SAWCUT CONCRETE PAVEMENT	LF	152	\$2.22	\$337.44	150.00	\$333.00	150.00	\$333.00
112	REMOVE MANHOLE OR CATCH BASIN CASTING	EA	27	\$162.46	\$4,386.42	27.00	\$4,386.42	27.00	\$4,386.42
113	REMOVE & DISPOSE OF EXIST. BITUMINOUS PAVEMENT (DRIVEWAYS)	SY	377	\$5.55	\$2,092.35	357.19	\$1,982.40	357.19	\$1,982.40
114	REMOVE & DISPOSE OF EXIST. CONCRETE PAVEMENT (DRIVEWAYS)	SY	137	\$7.70	\$1,054.90	127.39	\$980.90	127.39	\$980.90
115	SUBGRADE EXCAVATION (RECLAIM AREAS) (EV)	CY	500	\$7.00	\$3,500.00	0.00	\$0.00	0.00	\$0.00
116	RECLAIM EX. BIT. AND BASE MATERIALS, 8" DEPTH (P)	SY	18,800	\$2.89	\$54,332.00	18,800.00	\$54,332.00	18,800.00	\$54,332.00
117	HAUL OUT EXCESS RECLAIMED MATERIAL (LV) (P)	CY	909	\$5.65	\$5,135.85	0.00	\$0.00	0.00	\$0.00
118	SUBGRADE PREPARATION OF RECLAIMED SURFACE	RS	55	\$310.00	\$17,050.00	0.00	\$0.00	0.00	\$0.00
119	TYPE SP 9.5 BITUMINOUS WEARING COURSE MIXTURE (2,B)	TN	1,611	\$50.07	\$80,662.77	0.00	\$0.00	0.00	\$0.00
120	TYPE SP 12.5 BITUMINOUS NON WEARING COURSE MIXTURE (2,B)	TN	1,611	\$45.98	\$74,073.78	0.00	\$0.00	0.00	\$0.00

ITEM	DESCRIPTION OF PAY ITEM	UNIT	CONTRACT			THIS PERIOD		TOTAL TO DATE	
			QUANTITY	UNIT PRICE	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT
121	BITUMINOUS MATERIAL FOR TACK COAT	GAL	951	\$1.96	\$1,863.96	0.00	\$0.00	0.00	\$0.00
122	TYPE SP 9.5 BITUMINOUS WEARING COURSE MIXTURE (2,B) (DRIVEWAY)	SY	367	\$15.00	\$5,505.00	0.00	\$0.00	0.00	\$0.00
123	6" CONCRETE DRIVEWAY PAVEMENT	SY	91	\$46.02	\$4,187.82	0.00	\$0.00	0.00	\$0.00
124	SAW & SEAL STREET (40' INTERVALS)	LF	4,025	\$2.48	\$9,982.00	0.00	\$0.00	0.00	\$0.00
125	RIPRAP	CY	15	\$86.49	\$1,297.35	13.50	\$1,167.62	13.50	\$1,167.62
126	SEDIMENT REMOVAL (LV)	CY	57	\$27.03	\$1,540.71	28.00	\$756.84	28.00	\$756.84
127	MODIFY STORM STRUCTURE 104	LS	1	\$3,546.04	\$3,546.04	1.00	\$3,546.04	1.00	\$3,546.04
128	CATCH BASIN CASTING R-3067-V	EA	23	\$627.69	\$14,436.87	0.00	\$0.00	0.00	\$0.00
129	MANHOLE CASTING R-1642-B	EA	4	\$474.07	\$1,896.28	0.00	\$0.00	0.00	\$0.00
130	SOLID (2'X3'X1.0' HT) CONCRETE CB SECTION	EA	8	\$560.15	\$4,481.20	0.00	\$0.00	0.00	\$0.00
131	MINOR STRUCTURE REPAIR	EA	15	\$172.81	\$2,592.15	0.00	\$0.00	0.00	\$0.00
132	RECONSTRUCT DRAINAGE STRUCTURE	LF	10	\$0.01	\$0.10	0.00	\$0.00	0.00	\$0.00
133	B418 CONCRETE CURB & GUTTER	LF	12,140	\$10.65	\$129,291.00	0.00	\$0.00	0.00	\$0.00
134	STREET SWEEPING	HR	30	\$0.01	\$0.30	0.00	\$0.00	0.00	\$0.00
135	IMPORT AND PLACE TOPSOIL (LV)	CY	1,466	\$15.00	\$21,990.00	0.00	\$0.00	0.00	\$0.00
136	SODDING	SY	7,007	\$3.00	\$21,021.00	0.00	\$0.00	0.00	\$0.00
137	INSTALL SALVAGED MAILBOX	EA	31	\$42.81	\$1,327.11	0.00	\$0.00	0.00	\$0.00
138	INSTALL SALVAGED SIGN	EA	5	\$32.11	\$160.55	0.00	\$0.00	0.00	\$0.00
139	INSTALL SALVAGED LANDSCAPE ROCK (ISLANDS) (P)	LF	750	\$1.58	\$1,185.00	0.00	\$0.00	0.00	\$0.00
SUBTOTAL - DIVISION 5					\$490,767.58		\$77,335.25		\$77,335.25
DIVISION 6 - HIGHLAND TRAIL NORTH - STREETS									
140	MOBILIZATION	LS	1	\$3,500.00	\$3,500.00	0.00	\$0.00	0.00	\$0.00
141	TRAFFIC CONTROL	LS	1	\$1,070.30	\$1,070.30	0.00	\$0.00	0.00	\$0.00
142	INLET PROTECTION	EA	8	\$90.98	\$727.84	0.00	\$0.00	0.00	\$0.00
143	REMOVE & DISPOSE OF EXIST. CONCRETE CURB AND GUTTER	LF	80	\$4.55	\$364.00	0.00	\$0.00	0.00	\$0.00
144	REMOVE MANHOLE OR CATCH BASIN CASTING	EA	6	\$114.23	\$685.38	0.00	\$0.00	0.00	\$0.00
145	MILL 2" OF EXISTING BITUMINOUS PAVEMENT (P)	SY	4,900	\$1.60	\$7,840.00	0.00	\$0.00	0.00	\$0.00
146	REMOVE & REPAVE BITUMINOUS FLUME	LS	1	\$1,214.34	\$1,214.34	0.00	\$0.00	0.00	\$0.00
147	SPOT BITUMINOUS CURB REPLACEMENT	LF	136	\$10.48	\$1,425.28	0.00	\$0.00	0.00	\$0.00
148	TYPE SP 9.5 BITUMINOUS WEARING COURSE MIXTURE (2,C)	TN	637	\$51.01	\$32,493.37	0.00	\$0.00	0.00	\$0.00
149	BITUMINOUS MATERIAL FOR TACK COAT	GAL	282	\$1.96	\$552.72	0.00	\$0.00	0.00	\$0.00
150	CATCH BASIN CASTING R-3067-V	EA	1	\$627.69	\$627.69	0.00	\$0.00	0.00	\$0.00
151	CATCH BASIN CASTING R-3250-1	EA	4	\$760.91	\$3,043.64	0.00	\$0.00	0.00	\$0.00
152	CATCH BASIN CASTING R-3501-TR	EA	1	\$740.51	\$740.51	0.00	\$0.00	0.00	\$0.00
153	STREET SWEEPING	HR	4	\$0.01	\$0.04	0.00	\$0.00	0.00	\$0.00
154	IMPORT AND PLACE TOPSOIL (LV)	CY	30	\$24.65	\$739.50	0.00	\$0.00	0.00	\$0.00
155	SODDING	SY	138	\$5.30	\$731.40	0.00	\$0.00	0.00	\$0.00
SUBTOTAL - DIVISION 6					\$55,756.01		\$0.00		\$0.00
DIVISION 7 - JAMELY AVENUE NORTH - STREETS									
156	MOBILIZATION	LS	1	\$3,500.00	\$3,500.00	0.00	\$0.00	0.00	\$0.00
157	TRAFFIC CONTROL	LS	1	\$1,070.30	\$1,070.30	0.00	\$0.00	0.00	\$0.00
158	MILL 2" OF EXISTING BITUMINOUS PAVEMENT (P)	SY	4,090	\$1.60	\$6,544.00	0.00	\$0.00	0.00	\$0.00
159	ADJUST VALVE BOX (WATER)	EA	5	\$274.15	\$1,370.75	0.00	\$0.00	0.00	\$0.00
160	TYPE SP 9.5 BITUMINOUS WEARING COURSE MIXTURE (2,C)	TN	531	\$51.48	\$27,335.88	0.00	\$0.00	0.00	\$0.00
161	BITUMINOUS MATERIAL FOR TACK COAT	GAL	236	\$1.96	\$462.56	0.00	\$0.00	0.00	\$0.00
162	STREET SWEEPING	HR	4	\$0.01	\$0.04	0.00	\$0.00	0.00	\$0.00
SUBTOTAL - DIVISION 7					\$40,283.53		\$0.00		\$0.00

TOTALS - BASE CONTRACT

\$1,189,610.33

\$293,581.04

\$293,581.04



MAYOR & COUNCIL COMMUNICATION

DATE: June 21, 2016
CONSENT
ITEM # 11

AGENDA ITEM: Inwood Trunk Watermain Improvements – Pay Request No. 2

SUBMITTED BY: Chad Isakson, Project Engineer

THROUGH: Kristina Handt, City Administrator

REVIEWED BY: Jack Griffin, City Engineer
Cathy Bendel, Finance Director

SUGGESTED ORDER OF BUSINESS *if removed from the Consent Agenda*:

- Questions from Council to Staff Mayor Facilitates
- Public Input, if Appropriate.....Mayor Facilitates
- Call for Motion Mayor & City Council
- Discussion..... Mayor & City Council
- Action on Motion..... Mayor Facilitates

POLICY RECOMMENDER: Engineering.

FISCAL IMPACT: None. Partial payment is proposed in accordance with the Contract for the project. Payment remains within the authorized scope and budget.

SUMMARY AND ACTION REQUESTED:

The City Council is respectfully requested to consider approving Pay Request No. 2 for the Inwood Trunk Watermain Improvements project.

LEGISLATIVE HISTORY/BACKGROUND INFORMATION:

Northdale Construction Company, Inc., the Contractor for the project, has submitted Partial Pay Estimate No. 2 in the amount of \$359,433.69. The request has been reviewed and payment is recommended in the amount requested. In accordance with the contract documents, the City has retained 5% of the total work completed. The amount retained is \$37,316.04.

RECOMMENDATION:

Staff is recommending that the City Council consider approving, *as part of the Consent Agenda*, Pay Request No. 2 for the Inwood Trunk Watermain Improvements project. If removed from the consent agenda, the recommended motion for the action is as follows:

“Move to approve Pay Request No. 2 to Northdale Construction Company, Inc. in the amount of \$359,433.69 for the Inwood Trunk Watermain Improvements”.

ATTACHMENT(S):

1. Partial Pay Estimate No. 2

PROJECT PAY FORM

PARTIAL PAY ESTIMATE NO. <u> 2 </u>	FOCUS ENGINEERING, inc.
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INWOOD AVENUE TRUNK WATERMAIN IMPROVEMENTS PROJECT NO. 2014.130	PERIOD OF ESTIMATE FROM <u> 5/1/2016 </u> TO <u> 5/31/2016 </u>
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PROJECT OWNER: CITY OF LAKE ELMO 3800 LAVERNE AVENUE NORTH LAKE ELMO, MN 55042 ATTN: JACK GRIFFIN, CITY ENGINEER	CONTRACTOR: NORTHDALE CONSTRUCTION COMPANY, INC. 9760 71ST STREET NE ALBERTVILLE, MN 55301 ATTN: PHILIP LESNAR
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CONTRACT CHANGE ORDER SUMMARY				PAY ESTIMATE SUMMARY	
No.	Approval Date	Amount			
		Additions	Deductions		
				1. Original Contract Amount	\$1,411,737.31
				2. Net Change Order Sum	\$0.00
				3. Revised Contract (1+2)	\$1,411,737.31
				4. *Work Completed	\$746,320.74
				5. *Stored Materials	\$0.00
				6. Subtotal (4+5)	\$746,320.74
				7. Retainage* <u> 5.0% </u>	\$37,316.04
				8. Previous Payments	\$349,571.01
				9. Amount Due (6-7-8)	\$359,433.69
TOTALS		\$0.00	\$0.00		
NET CHANGE		\$0.00	\$0.00	*Detailed Breakdown Attached	

CONTRACT TIME					
START DATE:	<u> 3/23/2016 </u>	ORIGINAL DAYS	<u> 191 </u>	ON SCHEDULE YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
SUBSTANTIAL COMPLETION:	<u> 8/26/2016 </u>	REVISED DAYS	<u> 0 </u>		
FINAL COMPLETION:	<u> 9/30/2016 </u>	REMAINING	<u> 122 </u>		

ENGINEER'S CERTIFICATION: The undersigned certifies that the work has been reviewed and to the best of their knowledge and belief, the quantities shown in this estimate are correct and the work has been performed in accordance with the contract documents.	FOCUS Engineering, inc. _____ ENGINEER <u> 6/10/2016 </u> DATE
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CONTRACTOR'S CERTIFICATION: The undersigned Contractor certifies that to the best of their knowledge, information and belief the work covered by this payment estimate has been completed in accordance with the contract documents, that all amounts have been paid by the contractor for work for which previous payment estimates was issued and payments received from the owner, and that current payment shown herein is now due.	CONTRACTOR BY _____ <u> 6-13-2016 </u> DATE
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APPROVED BY OWNER: CITY OF LAKE ELMO, MINNESOTA	
BY _____	BY _____
DATE _____	DATE _____

**INWOOD AVENUE TRUNK WATERMAIN IMPROVEMENTS
CITY OF LAKE ELMO, MINNESOTA
PROJECT NO. 2014.130**



ITEM	DESCRIPTION OF PAY ITEM	UNIT	CONTRACT			THIS PERIOD		TOTAL TO DATE	
			QUANTITY	UNIT PRICE	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT
DIVISION 1 - GENERAL									
1	MOBILIZATION	LS	1	\$64,800.00	\$64,800.00	0.00	\$0.00	1.00	\$64,800.00
2	TRAFFIC CONTROL	LS	1	\$22,945.00	\$22,945.00	0.25	\$5,736.25	0.50	\$11,472.50
3	SILT FENCE, MACHINE SLICED	LF	600	\$4.13	\$2,478.00	95.00	\$392.35	200	\$826.00
4	CLEAR AND GRUB TREE	EA	6	\$750.00	\$4,500.00	0.00	\$0.00	0	\$0.00
5	DITCH CHECK	EA	10	\$104.50	\$1,045.00	0.00	\$0.00	0	\$0.00
SUBTOTAL - DIVISION 1					\$95,768.00		\$6,128.60		\$77,098.50
DIVISION 2 - WATERMAIN									
1	CONNECT TO EXISTING 8" WATERMAIN	EA	1	\$7,483.75	\$7,483.75	0	\$0.00	0	\$0.00
2	CONNECT TO EXISTING 16" WATERMAIN	EA	2	\$13,187.61	\$26,375.22	0	\$0.00	1	\$13,187.61
3	HYDRANT	EA	11	\$4,431.40	\$48,745.40	4	\$17,725.60	6	\$26,588.40
4	HYDRANT EXTENSION	LF	6	\$1,628.80	\$9,772.80	3.5	\$5,700.80	3.5	\$5,700.80
5	6" GATE VALVE AND BOX	EA	10	\$2,476.08	\$24,760.80	4	\$9,904.32	6	\$14,856.48
6	8" GATE VALVE AND BOX	EA	3	\$2,920.05	\$8,760.15	1	\$2,920.05	1	\$2,920.05
7	12" GATE VALVE AND BOX	EA	2	\$4,117.60	\$8,235.20	0	\$0.00	2	\$8,235.20
8	16" BUTTERFLY VALVE AND BOX	EA	19	\$10,711.98	\$203,527.62	6	\$64,271.88	9	\$96,407.82
9	1" CORPORATION STOP WITH FUSIBLE SADDLE	EA	3	\$709.63	\$2,128.89	1	\$709.63	3	\$2,128.89
10	1" CURB STOP AND CURB BOX	EA	3	\$775.20	\$2,325.60	2	\$1,550.40	3	\$2,325.60
11	1" COPPER WATER SERVICE PIPE	LF	100	\$50.97	\$5,097.00	61	\$3,109.17	81	\$4,128.57
12	6" DUCTILE IRON WATERMAIN PIPE, CLASS 52	LF	75	\$63.87	\$4,790.25	43	\$2,746.41	85.5	\$5,460.89
13	8" DUCTILE IRON WATERMAIN PIPE, CLASS 52	LF	96	\$70.32	\$6,750.72	22	\$1,547.04	22	\$1,547.04
14	12" DUCTILE IRON WATERMAIN PIPE, CLASS 52	LF	28	\$108.70	\$3,043.60	1	\$108.70	25.75	\$2,799.03
15	16" DUCTILE IRON WATERMAIN PIPE, CLASS 52	LF	25	\$126.98	\$3,174.50	0	\$0.00	30	\$3,809.40
16	16" HDPE DIPS DR11 WATERMAIN, DIRECTIONAL DRILL	LF	11,015	\$74.75	\$823,371.25	2,847	\$212,813.25	5,313	\$397,146.75
17	DUCTILE IRON FITTINGS	LB	5,810	\$10.74	\$62,399.40	3,177	\$34,120.98	4,851	\$52,099.74
18	HORIZONTAL DIRECTIONAL DRILLING BORE PITS	LS	1	\$49,462.20	\$49,462.20	0.25	\$12,365.55	0.50	\$24,731.10
19	WATER SERVICE CONNECTION PITS	LS	1	\$7,000.00	\$7,000.00	0.34	\$2,380.00	0.67	\$4,690.00
20	TRIVIEW TEST STATION MARKER	EA	18	\$156.02	\$2,808.36	0	\$0.00	0	\$0.00
SUBTOTAL - DIVISION 2					\$1,310,012.71		\$371,973.78		\$668,763.36
DIVISION 3 - STORM SEWER									
1	SALVAGE CONCRETE PIPE CULVERT	LF	60	\$15.00	\$900.00	0	\$0.00	14	\$210.00
2	INSTALL SALVAGED PIPE CULVERT	LF	60	\$31.11	\$1,866.60	8	\$248.88	8	\$248.88
SUBTOTAL - DIVISION 3					\$2,766.60		\$248.88		\$458.88
DIVISION 4 - STREET CONSTRUCTION									
1	SALVAGE AND REINSTALL MAILBOX	EA	2	\$165.00	\$330.00	0	\$0.00	0	\$0.00
2	SALVAGE AND REINSTALL SIGN	EA	13	\$220.00	\$2,860.00	0	\$0.00	0	\$0.00
SUBTOTAL - DIVISION 4					\$3,190.00		\$0.00		\$0.00
TOTALS					\$1,411,737.31		\$378,351.26		\$746,320.74



MAYOR & COUNCIL COMMUNICATION

DATE: June 21, 2016
CONSENT
ITEM # 12

AGENDA ITEM: Inwood Booster Station Improvements – Pay Request No. 1

SUBMITTED BY: Chad Isakson, Project Engineer

THROUGH: Kristina Handt, City Administrator

REVIEWED BY: Jack Griffin, City Engineer
Cathy Bendel, Finance Director

SUGGESTED ORDER OF BUSINESS *if removed from the Consent Agenda*:

- Questions from Council to Staff Mayor Facilitates
- Public Input, if Appropriate.....Mayor Facilitates
- Call for Motion Mayor & City Council
- Discussion..... Mayor & City Council
- Action on Motion..... Mayor Facilitates

POLICY RECOMMENDER: Engineering.

FISCAL IMPACT: None. Partial payment is proposed in accordance with the Contract for the project. Payment remains within the authorized scope and budget.

SUMMARY AND ACTION REQUESTED:

The City Council is respectfully requested to consider approving Pay Request No. 1 for the Inwood Booster Station Improvements project.

LEGISLATIVE HISTORY/BACKGROUND INFORMATION:

Magney Construction, Inc., the Contractor for the project, has submitted Partial Pay Estimate No. 1 in the amount of \$88,980.80. The request has been reviewed and payment is recommended in the amount requested. In accordance with the contract documents, the City has retained 5% of the total work completed. The amount retained is \$4,683.20.

RECOMMENDATION:

Staff is recommending that the City Council consider approving, *as part of the Consent Agenda*, Pay Request No. 1 for the Inwood Booster Station Improvements project. If removed from the consent agenda, the recommended motion for the action is as follows:

“Move to approve Pay Request No. 1 to Magney Construction, Inc. in the amount of \$88,980.80 for the Inwood Booster Station Improvements”.

ATTACHMENT(S):

1. Partial Pay Estimate No. 1

PROJECT PAY FORM

PARTIAL PAY ESTIMATE NO. <u>1</u>	FOCUS ENGINEERING, Inc.
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INWOOD BOOSTER STATION IMPROVEMENTS PROJECT NO. 2014.129	PERIOD OF ESTIMATE FROM <u>4/28/2016</u> TO <u>5/31/2016</u>
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PROJECT OWNER: CITY OF LAKE ELMO 3800 LAVERNE AVENUE NORTH LAKE ELMO, MN 55042 ATTN: JACK GRIFFIN, CITY ENGINEER	CONTRACTOR: MAGNEY CONSTRUCTION, INC. 1401 PARK ROAD CHANHASSEN, MN 55317
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CONTRACT CHANGE ORDER SUMMARY				PAY ESTIMATE SUMMARY	
No.	Approval Date	Amount			
		Additions	Deductions		
				1. Original Contract Amount	\$1,308,404.00
				2. Net Change Order Sum	\$0.00
				3. Revised Contract (1+2)	\$1,308,404.00
				4. *Work Completed	\$93,664.00
				5. *Stored Materials	\$0.00
				6. Subtotal (4+5)	\$93,664.00
				7. Retainage* <u>5.0%</u>	\$4,683.20
				8. Previous Payments	\$0.00
				9. Amount Due (6-7-8)	\$88,980.80
TOTALS		\$0.00	\$0.00		
NET CHANGE		\$0.00	\$0.00	*Detailed Breakdown Attached	

CONTRACT TIME					
START DATE:	<u>4/28/2016</u>	ORIGINAL DAYS	<u>211</u>	ON SCHEDULE	
SUBSTANTIAL COMPLETION:	<u>10/28/2016</u>	REVISED DAYS	<u>0</u>	YES	<input checked="" type="checkbox"/>
FINAL COMPLETION:	<u>11/25/2016</u>	REMAINING	<u>178</u>	NO	<input type="checkbox"/>

ENGINEER'S CERTIFICATION: The undersigned certifies that the work has been reviewed and to the best of their knowledge and belief, the quantities shown in this estimate are correct and the work has been performed in accordance with the contract documents.	MSA PROFESSIONAL SERVICES <u>Lucas A. Gane</u> ENGINEER <u>6/9/16</u> DATE
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CONTRACTOR'S CERTIFICATION: The undersigned Contractor certifies that to the best of their knowledge, information and belief the work covered by this payment estimate has been completed in accordance with the contract documents, that all amounts have been paid by the contractor for work for which previous payment estimates was issued and payments received from the owner, and that current payment shown herein is now due.	CONTRACTOR <u>Steve Adelheit</u> BY <u>6-9-16</u> DATE
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APPROVED BY OWNER: CITY OF LAKE ELMO, MINNESOTA	
BY _____	BY _____
DATE _____	DATE _____

**INWOOD BOOSTER STATION IMPROVEMENTS
CITY OF LAKE ELMO, MINNESOTA
PROJECT NO. 2014.129**



ITEM	DESCRIPTION OF PAY ITEM	UNIT	CONTRACT			THIS PERIOD		TOTAL TO DATE	
			QUANTITY	UNIT PRICE	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT
DIVISION 1 - GENERAL									
1	MOBILIZATION	LS	1	\$55,000.00	\$55,000.00	0.50	\$27,500.00	0.50	\$27,500.00
2	TRAFFIC CONTROL	LS	1	\$700.00	\$700.00	0.60	\$420.00	0.60	\$420.00
3	SILT FENCE	LF	240	\$3.00	\$720.00	120	\$360.00	120	\$360.00
4	CLEARING AND GRUBBING	LS	1	\$2,000.00	\$2,000.00	1	\$2,000.00	1	\$2,000.00
5	TEMPORARY ROCK CONSTRUCTION ENTRANCE	EA	1	\$1,000.00	\$1,000.00	1	\$1,000.00	1	\$1,000.00
6	STREET SWEEPING	HR	10	\$105.00	\$1,050.00	0	\$0.00	0	\$0.00
7	SITE RESTORATION	LS	1	\$4,800.00	\$4,800.00	0	\$0.00	0	\$0.00
SUBTOTAL - DIVISION 1					\$65,270.00		\$31,280.00		\$31,280.00
DIVISION 2 - WATER MAIN									
8	CONNECT TO EXISTING WATERMAIN AND SERVICE	EA	3	\$1,500.00	\$4,500.00	3	\$4,500.00	3	\$4,500.00
9	1.5" COPPER WATER SERVICE PIPE	LF	65	\$50.00	\$3,250.00	65	\$3,250.00	65	\$3,250.00
10	12" DUCTILE IRON WATERMAIN PIPE, CLASS 52	LF	100	\$120.00	\$12,000.00	100	\$12,000.00	100	\$12,000.00
11	DUCTILE IRON FITTINGS	LB	344	\$16.00	\$5,504.00	344	\$5,504.00	344	\$5,504.00
SUBTOTAL - DIVISION 2					\$25,254.00		\$25,254.00		\$25,254.00
DIVISION 3 - STORM SEWER									
12	10" PVC DRAIN	LF	15	\$50.00	\$750.00	0	\$0.00	0	\$0.00
13	18" RCP STORM SEWER PIPE, CLASS 5	LF	130	\$50.00	\$6,500.00	0	\$0.00	0	\$0.00
14	18" RCP FLARED END SECTION	EA	1	\$1,500.00	\$1,500.00	0	\$0.00	0	\$0.00
15	CATCH BASIN/MANHOLE	EA	2	\$3,000.00	\$6,000.00	0	\$0.00	0	\$0.00
16	RANDOM RIPRAP CLASS III (CV)	CY	10	\$160.00	\$1,600.00	0	\$0.00	0	\$0.00
SUBTOTAL - DIVISION 3					\$16,350.00		\$0.00		\$0.00
DIVISION 4 - DRIVEWAY CONSTRUCTION									
17	COMMON EXCAVATION (P)	CY	690	\$20.00	\$13,800.00	690	\$13,800.00	690	\$13,800.00
18	SELECT GRANULAR BORROW (P)	CY	110	\$25.00	\$2,750.00	0	\$0.00	0	\$0.00
19	SUBGRADE PREPARATION	LS	1	\$1,400.00	\$1,400.00	0	\$0.00	0	\$0.00
20	AGGREGATE BASE CLASS 5	TON	140	\$22.00	\$3,080.00	0	\$0.00	0	\$0.00
21	TYPE SP 9.5 WEAR COURSE MIX (2,B)	TON	50	\$95.00	\$4,750.00	0	\$0.00	0	\$0.00
22	4" CONCRETE SIDEWALK	SY	41	\$70.00	\$2,870.00	0	\$0.00	0	\$0.00
23	SEGMENTAL RETAINING WALL	FF	480	\$23.00	\$11,040.00	0	\$0.00	0	\$0.00
24	SPLIT RAIL FENCE	LF	120	\$17.00	\$2,040.00	0	\$0.00	0	\$0.00
25	GUARD POST	EA	3	\$350.00	\$1,050.00	0	\$0.00	0	\$0.00
26	6" PERFORATED PVC DRAIN	LF	140	\$40.00	\$5,600.00	0	\$0.00	0	\$0.00
27	8" INLINE DRAIN	EA	5	\$900.00	\$4,500.00	0	\$0.00	0	\$0.00
28	ROOF DRAIN COLLECTION	EA	5	\$900.00	\$4,500.00	0	\$0.00	0	\$0.00
29	DRAINTILE CLEANOUT	EA	1	\$900.00	\$900.00	0	\$0.00	0	\$0.00
SUBTOTAL - DIVISION 4					\$58,280.00		\$13,800.00		\$13,800.00
30 DIVISION 5 - BOOSTER FACILITY									
31	Supervision	LS	1	\$18,550.00	\$18,550.00	0.20	\$3,710.00	0	\$3,710.00
32	Bond & Insurance	LS	1	\$19,620.00	\$19,620.00	1	\$19,620.00	1	\$19,620.00
31000	Concrete Work	LS	1	\$58,760.00	\$58,760.00	0	\$0.00	0	\$0.00
32000	Rebar	LS	1	\$5,100.00	\$5,100.00	0	\$0.00	0	\$0.00
33516	Heavy Duty Concrete Floor Finish	LS	1	\$1,860.00	\$1,860.00	0	\$0.00	0	\$0.00
42000	Masonry Work	LS	1	\$70,480.00	\$70,480.00	0	\$0.00	0	\$0.00
55000	Misc. Metals	LS	1	\$3,350.00	\$3,350.00	0	\$0.00	0	\$0.00
61000	Rough Carpentry	LS	1	\$25,500.00	\$25,500.00	0	\$0.00	0	\$0.00
62210	Plastic Trism	LS	1	\$1,170.00	\$1,170.00	0	\$0.00	0	\$0.00
71113	Bituminous Damproofing	LS	1	\$670.00	\$670.00	0	\$0.00	0	\$0.00
72113	Insulation (below grade)	LS	1	\$1,250.00	\$1,250.00	0	\$0.00	0	\$0.00
72126	Blown Fiberglass Insulation	LS	1	\$2,700.00	\$2,700.00	0	\$0.00	0	\$0.00
72726	Fluid Applied Membrane Air Barrier	LS	1	\$4,000.00	\$4,000.00	0	\$0.00	0	\$0.00
73113	Asphalt Shingles	LS	1	\$6,600.00	\$6,600.00	0	\$0.00	0	\$0.00
74618	Metal Soffit & Fascia, gutters & downspouts	LS	1	\$6,550.00	\$6,550.00	0	\$0.00	0	\$0.00
74646	Mineral Fiber Siding	LS	1	\$10,600.00	\$10,600.00	0	\$0.00	0	\$0.00
79200	Joint Sealants	LS	1	\$3,210.00	\$3,210.00	0	\$0.00	0	\$0.00
81600	FRP Doors	LS	1	\$11,950.00	\$11,950.00	0	\$0.00	0	\$0.00
88100	Glass & Glazing	LS	1	\$500.00	\$500.00	0	\$0.00	0	\$0.00
88410	Translucent Windows	LS	1	\$9,960.00	\$9,960.00	0	\$0.00	0	\$0.00
97750	FRP Surface laminated panels	LS	1	\$9,640.00	\$9,640.00	0	\$0.00	0	\$0.00
99600	High performance Coating	LS	1	\$13,400.00	\$13,400.00	0	\$0.00	0	\$0.00
101469	Warning Signs	LS	1	\$200.00	\$200.00	0	\$0.00	0	\$0.00

ITEM	DESCRIPTION OF PAY ITEM	UNIT	CONTRACT			THIS PERIOD		TOTAL TO DATE	
			QUANTITY	UNIT PRICE	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT
104416	Fire Extinguishers	LS	1	\$350.00	\$350.00	0	\$0.00	0	\$0.00
220000	Plumbing	LS	1	\$22,500.00	\$22,500.00	0	\$0.00	0	\$0.00
230000	HVAC	LS	1	\$46,400.00	\$46,400.00	0	\$0.00	0	\$0.00
260500	Electrical	LS	1	\$79,800.00	\$79,800.00	0	\$0.00	0	\$0.00
312305	Earthwork	LS	1	\$7,880.00	\$7,880.00	0	\$0.00	0	\$0.00
331300	Disinfection of Water Storage Structures	LS	1	\$950.00	\$950.00	0	\$0.00	0	\$0.00
402323	Process Piping	LS	1	\$111,400.00	\$111,400.00	0	\$0.00	0	\$0.00
412223	Portable Hand Chain Hoist & Trolley	LS	1	\$1,200.00	\$1,200.00	0	\$0.00	0	\$0.00
444200	Water System Storage Tanks	LS	1	\$26,200.00	\$26,200.00	0	\$0.00	0	\$0.00
444256	Vertical Split Case Booster Pumps	LS	1	\$78,200.00	\$78,200.00	0	\$0.00	0	\$0.00
444416	Gas Chlorination System	LS	1	\$101,500.00	\$101,500.00	0	\$0.00	0	\$0.00
33	SCADA INTEGRATION AND SYSTEM IMPROVEMENTS (SCADA CONTRACTOR)	LS	1	\$30,000.00	\$30,000.00	0	\$0.00	0	\$0.00
34	PROCESS INSTRUMENTATION AND CONTROL (SYSTEM INTEGRATOR)	LS	1	\$215,000.00	\$215,000.00	0	\$0.00	0	\$0.00
35	230 KW GENERATOR SET	LS	1	\$105,000.00	\$105,000.00	0	\$0.00	0	\$0.00
36	UTILITY ALLOWANCE (ELECTRIC, NATURAL GAS, TELECOMMUNICATION/D)	LS	1	\$10,000.00	\$10,000.00	0	\$0.00	0	\$0.00
37	HOLDING TANK AND ASSOCIATED PIPING	LS	1	\$20,000.00	\$20,000.00	0	\$0.00	0	\$0.00
38	EROSION CONTROL BLANKET	SY	625	\$2.00	\$1,250.00	0	\$0.00	0	\$0.00
SUBTOTAL - DIVISION 5					\$1,143,250.00		\$23,330.00		\$23,330.00
TOTALS					\$1,308,404.00		\$93,664.00		\$93,664.00



MAYOR & COUNCIL COMMUNICATION

DATE: June 21, 2016

CONSENT

ITEM # 14

AGENDA ITEM: 2016 Street Full Depth Patching – Accept Quotes and Award Contract

SUBMITTED BY: Ryan Stempski, Assistant City Engineer

THROUGH: Kristina Handt, City Administrator

REVIEWED BY: Jack Griffin, City Engineer
Cathy Bendel, Finance Director
Mike Bouthilet, Public Works

SUGGESTED ORDER OF BUSINESS (if removed from the Consent Agenda):

- Questions from Council to Staff..... Mayor Facilitates
- Public Input, if Appropriate..... Mayor Facilitates
- Call for Motion..... Mayor & City Council
- Discussion..... Mayor & City Council
- Action on Motion Mayor Facilitates

POLICY RECOMMENDER: Engineering.

FISCAL IMPACT: \$55,820.00 to be funded from the General Fund; \$45.8k from the street maintenance budget and \$10k to be funded with savings in public works contractor dollars. The 2016 budget included contractor fees for road maintenance being covered through this program.

SUMMARY AND ACTION REQUESTED:

The City Council is respectfully requested to consider accepting contractor quotes and awarding a contract for the 2016 Street Full Depth Patching project.

LEGISLATIVE HISTORY/BACKGROUND INFORMATION:

In addition to the City’s annual street maintenance work completed by Public Works staff, the City contracts out street maintenance for crack sealing, seal coating, occasional mill and overlay work and full depth patch repairs. This work is part of the City annual street maintenance budget. To date, contractor bids or quotes have been received for the 2016 Crack Seal Project, the 2016 Seal Coat Project and the 2016 Overlay Project. In each case, the bids or quotes have been favorable, coming in well under budget.

On May 11, 2016, staff received two contractor quotes to complete full depth street patching work along 14th Street North within the Homestead neighborhood. The work will repair localized areas of pavement distress near the entrance of the neighborhood where the street is in significant disrepair. The work will

serve to extend the useful life of this roadway and will help defer the neighborhood streets from a more significant street improvement project. It is recommended to have this work completed in 2016. In 2017, all streets in the neighborhood are scheduled to be seal coated.

To comply with competitive bidding law for contracts between \$25,000 and \$100,000, the City may use direct negotiation. When direct negotiation is used, two quotes must be obtained and kept on file for the period of one year. Contractor quotes were obtained from local, reputable paving contractors with the following results:

Hardrives, Inc. = \$55,820.00.

T.A. Schifsky & Sons, Inc. = \$68,040.00.

The breakdown of these quote totals can be seen in the attached Contracts, with staff recommending the low quote of \$55,820.00 from Hardrives, Inc.

RECOMMENDATION:

Staff is recommending that the City Council accept the quotes and award a Contract to Hardrives, Inc. If removed from consent, the recommended motion for this action is as follows:

“Move to accept the quotes and award a Contract to Hardrives, Inc. in the amount of \$55,820.00 for the 2016 Street Full Depth Patching Project.”

ATTACHMENT(S):

1. Hardrives, Inc. Construction Contract for the 2016 Street Full Depth Patching Project.
2. T.A. Schifsky & Sons, Inc. Construction Contract for the 2016 Street Full Depth Patching Project.

**CONSTRUCTION CONTRACT FOR THE
2016 STREET FULL DEPTH PATCHING PROJECT
LAKE ELMO, MINNESOTA**

This Contract, made this 21st day of June 2016, by the City of Lake Elmo, Minnesota (hereinafter called the "Owner") and Hardrives, Inc. (hereinafter called the "Contractor").

WITNESSETH that the parties hereto agree as follows:

The Contractor shall provide all labor, services, materials, equipment and machinery, transportation, tools, fuel, power, light, heat, telephone, water, sanitary facilities, traffic control, temporary facilities, and all other facilities and incidentals, including profit and overhead, necessary for the performance, testing, start-up, and completion of the work as described herein:

DESCRIPTION OF WORK: The Contractor shall complete full-depth pavement patch repairs along 14th Street North in Lake Elmo, MN at the direction and in the locations specified by the City. All work shall be completed within the specified time frame and under the terms and conditions provided within this Construction Contract, and in accordance with the "General Conditions" shown in this contract. The contractor shall complete the proposed work by **SEPTEMBER 30, 2016**.

The extents of the patch excavation area shall be marked in the field by the City and must be sawcut perpendicular across the entire street section from lip of curb to lip of curb. Sawcutting is incidental to the patching work.

Full-depth patching shall include the removal of the entire pavement surface layer, regardless of its thickness, over the patching area. A Test Roll shall be completed with a fully loaded aggregate truck over the street and is incidental to the patching work. The existing aggregate base areas that pass a Test Roll, as determined by the City inspector, shall be tolerated and re-compacted prior to paving. The areas that do not pass a Test Roll, as determined by the City inspector, shall receive new Class 6 aggregate base material to a depth specified by the City. Each excavation shall be inspected by the City to determine if additional base material removal is needed to provide for a firm support. The aggregate base shall be tolerated to meet a minimum 2% crown to facilitate drainage. The bituminous surface shall be replaced using two compacted layers and shall include tack coat between them. The Bituminous Base Course (SPNWB230B) shall be a minimum 1.5" thick and the Bituminous Wear Course (SPWEA240B) shall be a minimum 1.5" thick.

All bituminous testing shall be in accordance with MnDOT 2360 and is incidental to the patching work. The test procedure shall be the Ordinary Compaction Method. Aggregate gradation testing shall be as specified in MnDOT 2211 and MnDOT 3138. Water shall be applied at such times and in such amounts as necessary for proper aggregate compaction.

The City will make payment for the whole contract upon acceptance by the City of all work required hereunder and in compliance with all the terms and conditions of this contract. Payment to the Contractor will be made for only the actual quantities of work performed using the unit prices provided within this Contract and listed below, except that the total amount cannot exceed \$55,820 without prior written authorization by the City Engineer. All materials, labor, tools and equipment needed to complete full-depth pavement repair work that is not specifically itemized below with a unit price and estimated quantity shall be incidental to the work. The City may add or reduce the project quantities in the best interest of the City.

Mobilization 1 LS - \$3,000.00

Remove Bituminous and Tolerance – 3,700 SY x \$2.85/SY = \$10,545.00

1.5" SPNWB230B – 350 Tons x \$52.00/Ton = \$18,200.00

1.5" SPWEA240B – 350 Tons x \$54.50/Ton = \$19,075.00

Remove & Replace Class 6 Aggregate Base – 500 SY x \$10.00/SY = \$5,000.00

TOTAL ESTIMATED AMOUNT: \$55,820.00

IN WITNESS WHEREOF, the parties hereto have executed this contract as of the date first above written.

(Contractor)

(City of Lake Elmo)

GENERAL CONDITIONS

- I. CHANGES IN WORK. - The Owner may at any time, make changes in the drawings and specifications, within the general scope thereof. If such changes cause an increase or decrease in the amount due under this contract or in the time required for its performance, an equitable adjustment will be made, and this contract will be modified accordingly by a "Contract Change Order". No charge for any extra work or material will be allowed unless the same has been ordered on such contract change order by the Owner and the price therefore stated in the order.
- II. INSPECTION OF WORK. - All materials and workmanship will be subject to inspection, examination, and test, by the Owner, who will have the right to reject defective material and workmanship or require its correction.
- III. COMPLETION OF WORK. - If the Contractor refuses or fails to complete the work within the time specified in this contract, or any extension thereof, the Owner may terminate the Contractor's rights to proceed. In such event the Owner may take over the work and prosecute the same to completion by contract or otherwise, and the Contractor will be liable for any excess cost occasioned the Owner thereby; and the Owner may take possession of and utilize in completing the work such materials and equipment as may be on the site of the work and necessary therefore. If the Owner does not terminate the right of the Contract to proceed, the Contractor will continue the work, in which event, actual damages for delay will be impossible to determine, and in lieu thereof, the Contractor may be required to pay to the Owner the sum of **\$100** as liquidated damages for each calendar day of delay, and the Contractor will be liable for the amount thereof: Provided, however, that the right of the Contractor to proceed will not be terminated because of delays in the completion of the completion of the work due to unforeseeable causes beyond the Contractor's control and without Contractor's fault or negligence.
- IV. RELEASES. - Prior to final payment, the Contractor will submit evidence that all payrolls, material bills, and other indebtedness connected with the work have been paid as required by the Owner.
- V. OBLIGATION TO DISCHARGE LIENS. - Acceptance by the Owner of the completed work performed by the Contractor and payment therefore by the Owner will not relieve the Contractor of obligation to the Owner (which obligation is hereby acknowledged) to discharge any and all liens for the benefit of subcontractors, laborers, material-person, or any other persons performing labor upon the work or furnishing material or machinery for the work covered by this contract, which have attached to or may subsequently attach to the property, or interest of the Owner.
- VI. NOTICES AND APPROVAL IN WRITING. - Any notice, consent, or other act to be given or done hereunder will be valid only if in writing.
- VII. CLEANING UP. - The Contractor shall keep the premises free from accumulation of waste material and rubbish and at the completion of the work shall remove from the premises all rubbish, implements and surplus materials.
- VIII. WARRANTY. - Contractor warrants and guarantees that title to all work, materials, and equipment covered by any Application for Payment, whether incorporated in the Project or not, will pass to Owner no later than the time of payment free and clear of all Liens. If within one year after completion of the work, any work is found to be defective, Contractor shall promptly, without cost to the Owner, correct such defective work as approved by the Owner.
- IX. IDEMNIFICATION. - Contractor shall defend and indemnify the city against claims brought or actions filed against the city or any of its officers, employees or agents for property damage, bodily injury or death to third persons, arising out of or relating to contractors work under the contract.
- X. WORKERS' COMPENSATION INSURANCE. - Contractor shall provide a certificate of insurance showing evidence of workers' compensation coverage or provide evidence of qualification as a self-insurer of workers' compensation.
- XI. LIABILITY INSURANCE REQUIREMENTS. - A certificate of insurance acceptable to the City shall be filed with the City prior to the commencement of the work. The certificate and the required insurance policies shall contain a provision that the coverage afforded under the contract will not be canceled or allowed to expire until at least 30 days prior written notice has been given to the city. Contractor shall maintain commercial general liability (CGL) insurance with a limit of not less than \$1,000,000 each occurrence and an aggregate limit of not less than \$2,000,000. The CGL insurance shall cover liability arising from premises, operations, independent contractors, subcontractors, products-completed operations, personal injury and advertising injury, and contractually-assumed liability. The city shall be named as an additional insured under the CGL. Contractor shall maintain automobile liability insurance, and if necessary, umbrella liability insurance with a limit of not less than \$1,000,000 each accident and an aggregate limit of not less than \$2,000,000. The insurance shall cover liability arising out of any auto, including owned, hired, and non-owned autos.

**CONSTRUCTION CONTRACT FOR THE
2016 STREET FULL DEPTH PATCHING PROJECT
LAKE ELMO, MINNESOTA**

This Contract, made this 21st day of June 2016, by the City of Lake Elmo, Minnesota (hereinafter called the "Owner") and T.A. Schifsky & Sons, Inc. (hereinafter called the "Contractor").

WITNESSETH that the parties hereto agree as follows:

The Contractor shall provide all labor, services, materials, equipment and machinery, transportation, tools, fuel, power, light, heat, telephone, water, sanitary facilities, traffic control, temporary facilities, and all other facilities and incidentals, including profit and overhead, necessary for the performance, testing, start-up, and completion of the work as described herein:

DESCRIPTION OF WORK: The Contractor shall complete full-depth pavement patch repairs along 14th Street North in Lake Elmo, MN at the direction and in the locations specified by the City. All work shall be completed within the specified time frame and under the terms and conditions provided within this Construction Contract, and in accordance with the "General Conditions" shown in this contract. The contractor shall complete the proposed work by **SEPTEMBER 30, 2016**.

The extents of the patch excavation area shall be marked in the field by the City and must be sawcut perpendicular across the entire street section from lip of curb to lip of curb. Sawcutting is incidental to the patching work.

Full-depth patching shall include the removal of the entire pavement surface layer, regardless of its thickness, over the patching area. A Test Roll shall be completed with a fully loaded aggregate truck over the street and is incidental to the patching work. The existing aggregate base areas that pass a Test Roll, as determined by the City inspector, shall be tolerated and re-compacted prior to paving. The areas that do not pass a Test Roll, as determined by the City inspector, shall receive new Class 6 aggregate base material to a depth specified by the City. Each excavation shall be inspected by the City to determine if additional base material removal is needed to provide for a firm support. The aggregate base shall be tolerated to meet a minimum 2% crown to facilitate drainage. The bituminous surface shall be replaced using two compacted layers and shall include tack coat between them. The Bituminous Base Course (SPNWB230B) shall be a minimum 1.5" thick and the Bituminous Wear Course (SPWEA240B) shall be a minimum 1.5" thick.

All bituminous testing shall be in accordance with MnDOT 2360 and is incidental to the patching work. The test procedure shall be the Ordinary Compaction Method. Aggregate gradation testing shall be as specified in MnDOT 2211 and MnDOT 3138. Water shall be applied at such times and in such amounts as necessary for proper aggregate compaction.

The City will make payment for the whole contract upon acceptance by the City of all work required hereunder and in compliance with all the terms and conditions of this contract. Payment to the Contractor will be made for only the actual quantities of work performed using the unit prices provided within this Contract and listed below, except that the total amount cannot exceed \$55,820 without prior written authorization by the City Engineer. All materials, labor, tools and equipment needed to complete full-depth pavement repair work that is not specifically itemized below with a unit price and estimated quantity shall be incidental to the work. The City may add or reduce the project quantities in the best interest of the City.

Mobilization 1 LS – Included at no charge.

Remove Bituminous and Tolerance – 3,700 SY x \$3.70/SY = \$13,690.00

1.5" SPNWB230B – 350 Tons x \$70.00/Ton = \$24,500.00

1.5" SPWEA240B – 350 Tons x \$71.00/Ton = \$24,850.00

Remove & Replace Class 6 Aggregate Base – 500 SY x \$10.00/SY = \$5,000.00

TOTAL ESTIMATED AMOUNT: \$68,040.00

IN WITNESS WHEREOF, the parties hereto have executed this contract as of the date first above written.

(Contractor)

(City of Lake Elmo)

GENERAL CONDITIONS

- I. CHANGES IN WORK. - The Owner may at any time, make changes in the drawings and specifications, within the general scope thereof. If such changes cause an increase or decrease in the amount due under this contract or in the time required for its performance, an equitable adjustment will be made, and this contract will be modified accordingly by a "Contract Change Order". No charge for any extra work or material will be allowed unless the same has been ordered on such contract change order by the Owner and the price therefore stated in the order.
- II. INSPECTION OF WORK. - All materials and workmanship will be subject to inspection, examination, and test, by the Owner, who will have the right to reject defective material and workmanship or require its correction.
- III. COMPLETION OF WORK. - If the Contractor refuses or fails to complete the work within the time specified in this contract, or any extension thereof, the Owner may terminate the Contractor's rights to proceed. In such event the Owner may take over the work and prosecute the same to completion by contract or otherwise, and the Contractor will be liable for any excess cost occasioned the Owner thereby; and the Owner may take possession of and utilize in completing the work such materials and equipment as may be on the site of the work and necessary therefore. If the Owner does not terminate the right of the Contract to proceed, the Contractor will continue the work, in which event, actual damages for delay will be impossible to determine, and in lieu thereof, the Contractor may be required to pay to the Owner the sum of **\$100** as liquidated damages for each calendar day of delay, and the Contractor will be liable for the amount thereof: Provided, however, that the right of the Contractor to proceed will not be terminated because of delays in the completion of the completion of the work due to unforeseeable causes beyond the Contractor's control and without Contractor's fault or negligence.
- IV. RELEASES. - Prior to final payment, the Contractor will submit evidence that all payrolls, material bills, and other indebtedness connected with the work have been paid as required by the Owner.
- V. OBLIGATION TO DISCHARGE LIENS. - Acceptance by the Owner of the completed work performed by the Contractor and payment therefore by the Owner will not relieve the Contractor of obligation to the Owner (which obligation is hereby acknowledged) to discharge any and all liens for the benefit of subcontractors, laborers, material-person, or any other persons performing labor upon the work or furnishing material or machinery for the work covered by this contract, which have attached to or may subsequently attach to the property, or interest of the Owner.
- VI. NOTICES AND APPROVAL IN WRITING. - Any notice, consent, or other act to be given or done hereunder will be valid only if in writing.
- VII. CLEANING UP. - The Contractor shall keep the premises free from accumulation of waste material and rubbish and at the completion of the work shall remove from the premises all rubbish, implements and surplus materials.
- VIII. WARRANTY. - Contractor warrants and guarantees that title to all work, materials, and equipment covered by any Application for Payment, whether incorporated in the Project or not, will pass to Owner no later than the time of payment free and clear of all Liens. If within one year after completion of the work, any work is found to be defective, Contractor shall promptly, without cost to the Owner, correct such defective work as approved by the Owner.
- IX. IDEMNIFICATION. - Contractor shall defend and indemnify the city against claims brought or actions filed against the city or any of its officers, employees or agents for property damage, bodily injury or death to third persons, arising out of or relating to contractors work under the contract.
- X. WORKERS' COMPENSATION INSURANCE. - Contractor shall provide a certificate of insurance showing evidence of workers' compensation coverage or provide evidence of qualification as a self-insurer of workers' compensation.
- XI. LIABILITY INSURANCE REQUIREMENTS. - A certificate of insurance acceptable to the City shall be filed with the City prior to the commencement of the work. The certificate and the required insurance policies shall contain a provision that the coverage afforded under the contract will not be canceled or allowed to expire until at least 30 days prior written notice has been given to the city. Contractor shall maintain commercial general liability (CGL) insurance with a limit of not less than \$1,000,000 each occurrence and an aggregate limit of not less than \$2,000,000. The CGL insurance shall cover liability arising from premises, operations, independent contractors, subcontractors, products-completed operations, personal injury and advertising injury, and contractually-assumed liability. The city shall be named as an additional insured under the CGL. Contractor shall maintain automobile liability insurance, and if necessary, umbrella liability insurance with a limit of not less than \$1,000,000 each accident and an aggregate limit of not less than \$2,000,000. The insurance shall cover liability arising out of any auto, including owned, hired, and non-owned autos.



MAYOR AND COUNCIL COMMUNICATION

DATE: 6/21/2016

CONSENT

ITEM #: 15

AGENDA ITEM: Requested Amendments to Accessory Structure Ordinance
SUBMITTED BY: Emily Becker, City Planner
THROUGH: Kristina Handt, City Administrator
REVIEWED BY: Stephen Wensman, Planning Director

BACKGROUND:

The Planning Commission has made recommendations to the City Council on three changes pertaining to accessory structures.

The first amendment pertains to fish houses. At its May 3, 2016 meeting, City Council directed Staff to amend the City's Accessory Structure ordinance to exempt "fish houses" that are 120 square feet or less in size from the requirement that principal structures be constructed or accessory use be located on lots prior to accessory structures in the Rural Single Family Zoning District.

The request was made due to a significant number of non-conforming lot sizes in the Rural Single Family Zoning District upon which a house would likely not meet setback requirements. Because a significant number of these lots could not be built upon without first obtaining a variance, the request was made so that these lots could be utilized for the recreational purpose a fish house would allow. Accessory structures are not allowed to be erected prior to the existence of or issuance of a building permit for a principal structure, and a variance would not allow the situation, so the only remedy is by text amendment.

The second amendment pertains to Section 154.406, Subd. D, an exception provision that allows accessory structures to be located nearer to the front lot line than the principal structure. The Planning Commission recommends the Council strike the language that allows the exception to be made by Resolution of the City Council. Staff believes the exception is a defacto variance without findings. The City Attorney has also given support for this amendment. The variance process is the appropriate mechanism to grant such exceptions.

Finally, the third proposed amendment is to the definition of "Storage or Tool Shed" in Section 154.213. Staff recommends amending the defined size of such a shed from 160 square feet to 200 square feet in order to align it with MN State Building Code.

ISSUE BEFORE COUNCIL:

The City Council should consider the following:

- 1) If fish houses, with certain provisions, should be exempt from the requirement that principal structures be constructed on lots prior to accessory structures. The Council should also consider what those provisions should be.
- 2) If the language in Section 154.406, Subd. D of the Zoning Code that allows accessory structures to be located nearer to the front lot line than the principal structure by Resolution of the City Council should be stricken. Striking this language will require applicants to go through the variance process.
- 3) If the definition of "Tool Shed" in Section 154.213, Subd B, should be amended by changing the defined size from 160 square feet to 200 square feet to align with MN State Building Code and specifying in the definition that it must comply with the maximum area requirements of the zoning district, providing a principal structure exists on the lot.

PROPOSAL DETAILS/ANALYSIS:

Fish House Exemption:

Definition. The definition of water-oriented accessory structure or facility in Lake Elmo's City Code lists fish houses as an example of such a structure. Water-oriented accessory structures are exempt from setback regulations of the Shoreland Overlay District if certain provisions are met including: not exceeding a height of ten feet; not being over 250 square feet in size; being set back at least ten feet from the Ordinary High Water Level (OHWL) on a recreational development lake and 50 feet from the OHWL on a natural environment lake; being treated to reduce visibility as viewed from public waters; and cannot be used for human habitation or contain water supply or sewage treatment facilities. The Code does not currently clearly define fish houses.

Restriction. Because fish houses are classified as accessory structures, regulations of accessory structures must be met. The Shoreland Ordinance allows only one water oriented structure per lot. By City Code, no accessory structure can be constructed or accessory use be located until a building permit has been issued for a primary structure on a lot. This Code provision is typical in cities in order to maintain control over use of properties for storage and to protect the City against a proliferation of unwanted storage structures.

Logic Behind Zoning District Restriction. It is recommended that if an exemption for fish houses from the requirement of a principal structure is considered, the exemption should be restricted only to the RS - Rural Single Family Zoning District for a number of reasons. First, there are a number of lots in this zoning district that are non-conforming, and on which a house could not be built without a variance. Additionally, many of the lots in the RS District are located adjacent to a lake, and allowing fish houses to exist on lots without primary structures would allow owners who do not wish to construct a primary structure to enjoy recreation on the lake without having to haul their fish house to the lake each winter season.

Potentially-Affected Parcels. There are currently 221 parcels located in the Rural Single Family District on which a principal structure does not exist. 123 of these parcels are located on a lot adjacent to a lake. 39 of these parcels are a half acre in size or more. A map is included as an addendum to this report to illustrate the locations of these parcels.

Regulation. Fish houses are considered accessory structures and therefore will require a Certificate of Zoning Compliance, as any accessory structure located on a property that does not require a building permit requires this Certificate. It is at this time that Staff will be able to determine if most of the requirements of a fish house outlined in its definition are met. Of course, some requirements will not easily be determined, and there may be need for code compliance investigations if complaints are received or it is observed by the City that a property is in violation.

Potential Impacts. There are a number of potential impacts that may result from allowing fish houses to exist on parcels without primary structures. First, fish houses may be used solely as storage. Even though the definition outlines that they may not be used for storage, it is hard to know and regulate what occurs inside a structure that is not viewable from the street without going through the proper processes. Also, the design of fish houses is not regulated nor do they require a building permit, so the appearance, safety and durability of the structure are at risk. Section 154.406 of the Zoning Code requires that accessory structures are required to be similar or compatible with the design and construction of the principal building, but without a principal building, there is nothing by which its exterior appearance can be regulated. Additionally, it is hard to regulate fish houses from being used as dwellings, even though the definition does not allow this. On the other hand, allowing fish houses to be constructed/located on a lot without a primary structure would increase the utility of the lot for the owner without them having to go through a variance process and constructing a primary structure and could potentially benefit neighboring properties as adjacent lots can remain mostly vacant, increasing their peace and privacy.

The extra requirements; that a fish house is located on a lot with direct access to a water body; maintains a current fish house license with the Minnesota Department of Natural Resources regardless if it is left on a water body overnight; is 120 square feet or less; and complies with Shoreland regulations and RS Rural Single Family setback requirements, are intended to limit some of the potential impacts. An additional requirement has been added at the request of a Councilmember that was discussed previously, but not addressed is that the parcel on which the fish house is located be a half acre or more. This standard has been added to the Draft Ordinance.

Planning Commission Concern. During its discussion of this agenda item, the Planning Commission expressed concern that if every one of these lots had a fish house, it may lead to complaints by the neighbors.

Requiring the Variance Process for an Accessory Structure to be Located Nearer to the Front Lot Line than the Principal Structure:

Variance Process. The Board of Adjustment has the power to grant variances to the provisions of this chapter under certain procedures and standards. All requests for variances shall be reviewed in accordance with the required findings. A public hearing is to be held by the Planning Commission, after which findings are considered and a recommendation is made to the Board of Adjustment. The current process of allowing accessory structures to be located nearer the front lot line than the principal structure by Resolution of the City Council does not follow this process outlined in Section 154.109: Variances of the Zoning Code.

History. Since 1993, Staff has found that approximately 29 approvals for accessory structures to be located nearer to the front line than the principal structures have been made by Resolution of City Council.

Tool Shed Definition:

The proposed definition of “Storage or Tool Shed” would align the City’s definition with the Building Code. Currently, the Building Code does not require permits for structures under 200 square feet. Changing the definition of a Storage or Tool Shed in the City Code would make it consistent with this requirement.

The Planning Commission also recommends that that the definition include clarification that one storage or tool shed may be placed on any lot in addition to the number of accessory buildings, provided it complies with the maximum area requirements of the zoning district, providing a principal structure exists on the lot. The current definition had been confusing to Staff and led to misinterpretations.

FISCAL IMPACT:

Allowing fish houses to be located on lots in the absence of principal structures may increase the amount of time Staff spends in response to code compliance complaints as fish houses may be used for storage or habitation as is not allowed per the proposed ordinance.

Requiring the variance process for accessory structures to be located nearer to the front line than the principal structure may increase the amount of time Staff spends on such requests, though the cost of a variance is much higher than the cost of the request of Resolution by City Council (\$750.00 vs. \$200.00, respectively). The change may also reduce the number of such requests.

No fiscal impact is foreseen by amending the definition of a Storage or Tool Shed in this ordinance.

OPTIONS:

The Council may approve or deny the recommended amendments to the Accessory Structure ordinance as proposed or may edit amendments as deemed appropriate.

RECOMMENDATION:

Staff respectfully requests, as part of tonight’s consent agenda, the Council approve the three proposed changes to the Accessory Structure ordinance:

- 1) An exemption for fish houses, with certain standards, to the accessory structure requirement that a building permit be issued for a primary structure before an accessory structure or use can exist on a lot.
- 2) Striking the language that allows an accessory structure to be located nearer the front lot line than the primary structure “by Resolution of the City Council.”

- 3) Amending the definition of “Storage or Tool Shed” in Section 154.213, Subd B, to change defined size from 160 square feet to 200 square feet to align with MN State Building Code and specify in

the definition that it must comply with the maximum area requirements of the zoning district, providing a principal structure exists on the lot.

If removed from the Consent Agenda, the recommended action can be completed through the following motion:

“Move to approve three amendments to the Accessory Structure Ordinance: allowing an exception for fish houses that meet certain standards from the requirement that a building permit for a principal structure be issued before an accessory structure can exist on a lot; striking language in Section 154.406, Subd. D of the Zoning Code that allows an accessory structure to be located nearer a front lot line than the principal structure by Resolution of the City Council; amending the definition of Storage or Tool Shed in Section 154.213, Subd. B by increasing square footage requirement for a building permit and adding clarifying language.”

In addition, Staff is recommending that the City Council authorize summary publication of the approved ordinance through the following ordinance:

“Move to adopt Resolution 2016-47, authorizing summary publication of Ordinance 08-138”

ATTACHMENTS:

- Draft Ordinance Accessory Structure Ordinance Amendment.
- Resolution 2016-47 Summary Publication of Accessory Structure Ordinance Amendment.
- Map depicting parcels potentially affected by the proposed fish house exemption.

CITY OF LAKE ELMO
COUNTY OF WASHINGTON
STATE OF MINNESOTA

ORDINANCE NO. 08-138

AN ORDINANCE AMENDING THE LAKE ELMO CITY CODE OF ORDINANCES BY EXEMPTING FISH HOUSES FROM REQUIREMENT THAT NO ACCESSORY STRUCTURE BE CONSTRUCTED PRIOR TO PRINCIPAL STRUCTURE ON LOT AND STRIKING LANGUAGE THAT ALLOWS ACCESSORY STRUCTURES TO BE LOCATED NEARER TO THE FRONT LINE THAN PRINCIPAL STRUCTURES BY RESOLUTION OF THE CITY COUNCIL

SECTION 1. The City Council of the City of Lake Elmo hereby amends Title I: General Provisions; Chapter 11: General Code Provisions by adding the following definition:

FISH HOUSE. A water-oriented structure meant to provide periodic shelter during the winter months while atop a frozen lake for use in fishing. A structure will be considered a fish house only if it is constructed with sleds, wheels or similar means to allow transport on to a frozen lake; is not used on land for human habitation; and is not used for boat storage.

SECTION 2. The City Council of the City of Lake Elmo hereby amends Title XV: Land Usage; Chapter 154: Zoning Code; Article 5. General Regulations; Section 213: Accessory Buildings and Structures, Generally; Subd. B: Definitions and Subd. D: Principle Structure Necessary to read the following:

- B. *Definitions.* The following words, terms and phrases, when used in this section, and all sections pertaining to accessory buildings or structures, shall have the meanings ascribed to them in this subsection, except where the context clearly indicates a different meaning:

Agricultural Farm Building. An accessory building used or intended for use on an active commercial food-producing farm operation of more than 20 acres. A Minnesota Pollution Control Agency permit may be required.

Detached Domesticated Farm Animal Building. A 1-story accessory building used or intended for the shelter of domestic farm animals and/or related feed or other farm animal supportive materials. The building may require a Minnesota Pollution Control Agency feedlot permit in addition to site and building plan approval.

Fish House. A water-oriented structure meant to provide periodic shelter during the winter months while atop a frozen lake for use in fishing. A structure will be considered a fish house only if it is constructed with sleds, wheels or similar means to allow transport on to a frozen lake; is not used on land for human habitation; and is not used for boat storage.

Detached Residential Accessory Building. A 1-story accessory building primarily used or intended for the storage of automobiles and other miscellaneous equipment. No door or other access opening shall exceed 14 feet in height.

Storage or Tool Shed. A 1-story accessory building of less than ~~460~~200 square feet gross area with a maximum roof height of 12 feet.

- C. *Principal Structure Necessary.* No accessory building or structures shall be constructed nor accessory use located on a lot until a building permit has been issued for the principal structure to which it is accessory. Exemption. Fish houses as defined in this Code and located in the RS Rural Single Family District are exempt from this requirement provided the following criteria are met: must be located on a lot half acre in size or more with direct access to a water body; is 120 square feet or less; and complies with Shoreland regulations and RS Rural Single Family setback requirements. One fish house per lot may exist without a principal structure. The structure must maintain a current Fishhouse license with the Minnesota Department of Natural Resources regardless if it is left on a water body overnight. If a current Minnesota Department of Natural Resources Fishhouse License is not obtained for the structure, the structure must be removed from the property within 60 days.
- D. *Proximity to Principal Structure.* Accessory buildings shall maintain a six (6) foot setback from the principal structure. An accessory building or structure will be considered as an integral part of the principal building if it is located six (6) feet or less from the principal structure.
- E. *Storage or Tool Sheds.* A One storage or tool shed as defined in this section may be placed on any lot in addition to the permitted number of accessory buildings, provided it complies with the maximum area requirements of the zoning district, and a principal structure exists on the lot.
- F. *Exempt Structures.* The following residential improvements shall be exempt from the maximum allowed structure size and number requirements in residential districts:
 - 1. Unenclosed playhouses
 - 2. Gazebos up to a total of 120 square feet in size and a maximum of twelve (12) feet in overall height
 - 3. Detached decks over thirty (30) inches in height up to a total of 120 square feet in size
 - 4. Outdoor swimming pools
 - 5. Patios
 - 6. Tennis and sport courts
 - 7. Structures, sheds or coops up to a total of two hundred (200) square feet in size used to house permitted animals, such as chickens, horses, or other livestock. These structures must not exceed twelve (12) feet in height and must meet all required setbacks per MPCA guidelines and the City's animal ordinances.
 - 8. Water oriented accessory structures as permitted in accordance with the City's Shoreland Ordinance.

SECTION 3. The City Council of the City of Lake Elmo hereby amends Title XV: Land Usage; Chapter 154: Zoning Code; Section 405: Accessory Uses and Structures to read the following:

- A. *Phasing. No accessory use or structure shall be constructed or established on any lot prior to the time of construction of the principal use to which it is accessory.*
- B. *Incidental to Principal Use. The accessory use or structure shall be incidental to and customarily associated with the principal use or structure served.*
- C. *Subordinate to Principal Use. The accessory use or structure shall be subordinate in area, extent, and purpose to the principal use or structure served.*
- D. *Function. The accessory use or structure shall contribute to the comfort, convenience, or necessity of the occupants of the principal use or structure served.*
- E. *Location. The accessory use or structure shall be located on the same zoning lot as the principal use or structure.*
- F. *Exemption. Fish houses as defined in this Code and located in the RS Rural Single Family District are exempt from this requirement provided the following criteria are met: must be located on a lot half acre in size or more with direct access to a water body; is 120 square feet or less; and complies with Shoreland regulations and RS Rural Single Family setback requirements. One fish house per lot may exist without a principal structure. The structure must maintain a current Fishhouse license with the Minnesota Department of Natural Resources regardless if it is left on a water body overnight. If a current Minnesota Department of Natural Resources Fishhouse License is not obtained for the structure, the structure must be removed from the property within 60 days.*

SECTION 4. The City Council of the City of Lake Elmo hereby amends Title XV: Land Usage; Chapter 154: Zoning Code; Section 404: Accessory Structures, Rural Districts., Subd. D to read the following:

- D. *Structure Location, Rural Districts. No detached garages or other accessory buildings shall be located nearer to the front lot line than the principal building on that lot. ~~unless, by Resolution of the City Council, an exception is made to permit a detached garage or accessory structure nearer the front lot line than the principal building.~~*

SECTION 5. Effective Date. This ordinance shall become effective immediately upon adoption and publication in the official newspaper of the City of Lake Elmo.

SECTION 6. Adoption Date. This Ordinance 08-____ was adopted on this ____ day of _____, 2016, by a vote of ____ Ayes and ____ Nays.

LAKE ELMO CITY COUNCIL

Mike Pearson, Mayor

ATTEST:

Julie Johnson, City Clerk

This Ordinance 08-____ was published on the ____ day of _____,
2016.

CITY OF LAKE ELMO
COUNTY OF WASHINGTON
STATE OF MINNESOTA

ORDINANCE NO. 08-

AN ORDINANCE AMENDING THE LAKE ELMO CITY CODE OF ORDINANCES BY EXEMPTING FISH HOUSES FROM REQUIREMENT THAT NO ACCESSORY STRUCTURE BE CONSTRUCTED PRIOR TO PRINCIPAL STRUCTURE ON LOT AND STRIKING LANGUAGE THAT ALLOWS ACCESSORY STRUCTURES TO BE LOCATED NEARER TO THE FRONT LINE THAN PRINCIPAL STRUCTURES BY RESOLUTION OF THE CITY COUNCIL

SECTION 1. The City Council of the City of Lake Elmo hereby amends Title I: General Provisions; Chapter 11: General Code Provisions by adding the following definition:

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SECTION 2. The City Council of the City of Lake Elmo hereby amends Title XV: Land Usage; Chapter 154: Zoning Code; Article 5. General Regulations; Section 213: Accessory Buildings and Structures, Generally; Subd. B: Definitions and Subd. D: Principle Structure Necessary to read the following:

- B. *Definitions.* The following words, terms and phrases, when used in this section, and all sections pertaining to accessory buildings or structures, shall have the meanings ascribed to them in this subsection, except where the context clearly indicates a different meaning:

Agricultural Farm Building. An accessory building used or intended for use on an active commercial food-producing farm operation of more than 20 acres. A Minnesota Pollution Control Agency permit may be required.

Detached Domesticated Farm Animal Building. A 1-story accessory building used or intended for the shelter of domestic farm animals and/or related feed or other farm animal supportive materials. The building may require a Minnesota Pollution Control Agency feedlot permit in addition to site and building plan approval.

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Detached Residential Accessory Building. A 1-story accessory building primarily used or intended for the storage of automobiles and other miscellaneous equipment. No door or other access opening shall exceed 14 feet in height.

Storage or Tool Shed. A 1-story accessory building of less than 200 square feet gross area with a maximum roof height of 12 feet.

- C. *Principal Structure Necessary.* No accessory building or structures shall be constructed nor accessory use located on a lot until a building permit has been issued for the principal structure to which it is accessory. *Exemption.* Fish houses as defined in this Code and located in the RS Rural Single Family District are exempt from this requirement provided the following criteria are met: must be located on a lot half acre in size or more with direct access to a water body; is 120 square feet or less; and complies with Shoreland regulations and RS Rural Single Family setback requirements. One fish house per lot may exist without a principal structure. The structure must maintain a current Fishhouse license with the Minnesota Department of Natural Resources regardless if it is left on a water body overnight. If a current Minnesota Department of Natural Resources Fishhouse License is not obtained for the structure, the structure must be removed from the property within 60 days.
- D. *Proximity to Principal Structure.* Accessory buildings shall maintain a six (6) foot setback from the principal structure. An accessory building or structure will be considered as an integral part of the principal building if it is located six (6) feet or less from the principal structure.
- E. *Storage or Tool Sheds.* One storage or tool shed as defined in this section may be placed on any lot in addition to the permitted number of accessory buildings, provided it complies with the maximum area requirements of the zoning district, and a principal structure exists on the lot.
- F. *Exempt Structures.* The following residential improvements shall be exempt from the maximum allowed structure size and number requirements in residential districts:
 - 1. Unenclosed playhouses
 - 2. Gazebos up to a total of 120 square feet in size and a maximum of twelve (12) feet in overall height
 - 3. Detached decks over thirty (30) inches in height up to a total of 120 square feet in size
 - 4. Outdoor swimming pools
 - 5. Patios
 - 6. Tennis and sport courts
 - 7. Structures, sheds or coops up to a total of two hundred (200) square feet in size used to house permitted animals, such as chickens, horses, or other livestock. These structures must not exceed twelve (12) feet in height and must meet all required setbacks per MPCA guidelines and the City's animal ordinances.
 - 8. Water oriented accessory structures as permitted in accordance with the City's Shoreland Ordinance.

SECTION 3. The City Council of the City of Lake Elmo hereby amends Title XV: Land Usage; Chapter 154: Zoning Code; Section 405: Accessory Uses and Structures to read the following:

- A. *Phasing. No accessory use or structure shall be constructed or established on any lot prior to the time of construction of the principal use to which it is accessory.*
- B. *Incidental to Principal Use. The accessory use or structure shall be incidental to and customarily associated with the principal use or structure served.*
- C. *Subordinate to Principal Use. The accessory use or structure shall be subordinate in area, extent, and purpose to the principal use or structure served.*
- D. *Function. The accessory use or structure shall contribute to the comfort, convenience, or necessity of the occupants of the principal use or structure served.*
- E. *Location. The accessory use or structure shall be located on the same zoning lot as the principal use or structure.*
- F. *Exemption. Fish houses as defined in this Code and located in the RS Rural Single Family District are exempt from this requirement provided the following criteria are met: must be located on a lot half acre in size or more with direct access to a water body; is 120 square feet or less; and complies with Shoreland regulations and RS Rural Single Family setback requirements. One fish house per lot may exist without a principal structure. The structure must maintain a current Fishhouse license with the Minnesota Department of Natural Resources regardless if it is left on a water body overnight. If a current Minnesota Department of Natural Resources Fishhouse License is not obtained for the structure, the structure must be removed from the property within 60 days.*

SECTION 4. The City Council of the City of Lake Elmo hereby amends Title XV: Land Usage; Chapter 154: Zoning Code; Section 404: Accessory Structures, Rural Districts., Subd. D to read the following:

- D. *Structure Location, Rural Districts.* No detached garages or other accessory buildings shall be located nearer to the front lot line than the principal building on that lot.

SECTION 5. Effective Date. This ordinance shall become effective immediately upon adoption and publication in the official newspaper of the City of Lake Elmo.

SECTION 6. Adoption Date. This Ordinance 08-___ was adopted on this ____ day of _____, 2016, by a vote of ___ Ayes and ___ Nays.

LAKE ELMO CITY COUNCIL

Mike Pearson, Mayor

ATTEST:

Julie Johnson, City Clerk

This Ordinance 08-____ was published on the ____ day of _____,
2016.

**CITY OF LAKE ELMO
COUNTY OF WASHINGTON
STATE OF MINNESOTA**

RESOLUTION NO. 2016-__

**RESOLUTION AUTHORIZING PUBLICATION OF ORDINANCE 08-__ BY TITLE
AND SUMMARY**

WHEREAS, the City Council of the City of Lake Elmo has adopted Ordinance No. 08-__, an ordinance to amend the City’s Accessory Structure Ordinance; and

WHEREAS, the ordinance is lengthy; and

WHEREAS, Minnesota Statutes, section 412.191, subd. 4, allows publication by title and summary in the case of lengthy ordinances or those containing charts or maps; and

WHEREAS, the City Council believes that the following summary would clearly inform the public of the intent and effect of the ordinance.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Lake Elmo, that the City Clerk shall cause the following summary of Ordinance No. 08-__ to be published in the official newspaper in lieu of the entire ordinance:

Public Notice

The City Council of the City of Lake Elmo has adopted Ordinance No. 08-__, which amends the Lake Elmo City Code of Ordinances by amending the following:

- Title I: General Provisions; Chapter 11: General Code Provisions by adding a definition of fish house.
- Title XV: Land Usage; Chapter 154: Zoning Code; Article 5. General Regulations; Section 213: Accessory Buildings and Structures, Generally; Subd. B: Definitions and Subd. D: Principle Structure Necessary by:
 - Adding a definition of fish house.
 - Adding an exemption for fish houses, with certain standards, to the accessory structure requirement that a building permit be issued for a primary structure before an accessory structure or use can exist on a lot.
 - Amending the definition of “Storage or Tool Shed” by changing the defined size

from 160 square feet to 200 square feet to align with MN State Building Code and specifying in the definition that it must comply with the maximum area requirements of the zoning district, providing a principal structure exists on the lot.

- Title XV: Land Usage; Chapter 154: Zoning Code; Section 405: Accessory Uses and Structures by striking the language that allows an accessory structure to be located nearer the front lot line than the primary structure “by Resolution of the City Council.”

The full text of Ordinance No. 08-___ is available for inspection at Lake Elmo City Hall during regular business hours.

BE IT FURTHER RESOLVED by the City Council of the City of Lake Elmo that the City Administrator keep a copy of the ordinance at City Hall for public inspection and that a full copy of the ordinance be placed in a public location within the City.

Dated: June 21, 2016

Mayor Mike Pearson

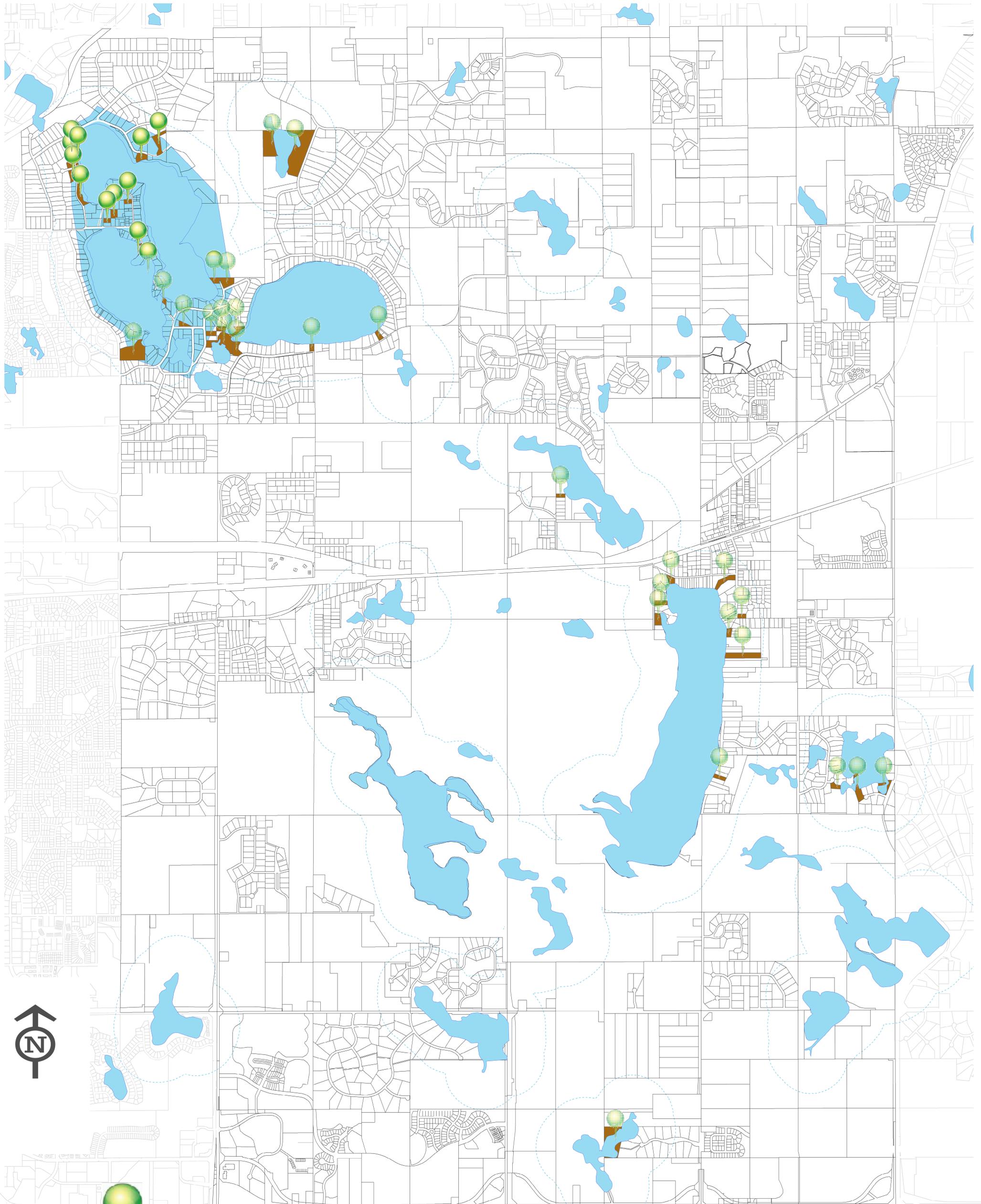
ATTEST:

Julie Johnson, City Clerk

(SEAL)

The motion for the adoption of the foregoing resolution was duly seconded by member _____ and upon vote being taken thereon, the following voted in favor thereof: _____ and the following voted against same: _____ Whereupon said resolution was declared duly passed and adopted.

Rural Single Family Lots - No Principal Structure - Adjacent to Lake



Indicates parcels 0.5 acres or more, located in the Rural Single Family Zoning District, on which a principal structure is not currently located and according to Washington County data.



PLANNING COMMISSION

DATE: 6/13/2016

ITEM #: 4c-PUBLIC HEARING

CASE # 2016-17

AGENDA ITEM: Exempting Fish Houses from requirement that no accessory structure be constructed prior to principal structure on a lot and other amendments to accessory structure ordinance.

SUBMITTED BY: Emily Becker, Planner

REVIEWED BY: Stephen Wensman, Planning Director

SUMMARY AND BACKGROUND:

Staff is recommending the Planning Commission hold a public hearing and make a recommendation to the City Council on three changes pertaining to accessory structures.

The first amendment pertains to fishhouses. At its May 3, 2016 meeting, City Council directed Staff to amend the City's Accessory Structure ordinance to exempt "fish houses" that are 120 square feet or less in size from the requirement that principal structures be constructed or accessory use be located on lots prior to accessory structures in the Rural Single Family Zoning District.

The request was made due to a significant number of non-conforming lot sizes in the Rural Single Family Zoning District upon which a house would likely not meet setback requirements. Because a significant number of these lots could not be built upon without first obtaining a variance, the request was made so that these lots could be utilized for the recreational purpose a fish house would allow. Accessory structures are not allowed to be erected prior to the existence of or issuance of a building permit for a principal structure and variances cannot remedy the situation, so the only remedy is by a text amendment.

The second amendment pertains to Section 154.406, Subd. D, an exception provision that allows accessory structures to be located nearer to the front lot line than the principal structure. Staff is recommending the Planning Commission strike out the exception in Section 154.406, Subd. D by Resolution of the City Council. Staff believes the exception is a defacto variance without findings. The City Attorney has also given support for this amendment. The variance process is the appropriate mechanism to grant such exceptions. .

And the third amendment is an amendment to the definition of "Storage or Tool Shed" in Section 154.213. Staff recommends amending the defined size of the shed from 160 square feet to 200 square feet to align with MN State Building Code.

ISSUE BEFORE PLANNING COMMISSION:

The Planning Commission should consider the following:

- 1) If fish houses, with certain provisions, should be exempt from the requirement that principal structures be constructed on lots prior to accessory structures in the Rural Single Family Zoning District.
- 2) If the language in Section 154.406, Subd. D of the Zoning Code that allows accessory structures to be located nearer to the front lot line than the principal structure by Resolution of the City Council should be stricken. Striking this language will require applicants to go through the variance process.
- 3) If the definition of “Tool Shed” in Section 154.213, Subd B, should be amended to changing the defined size from 160 square feet to 200 square feet to align with MN State Building Code, and adding Tool shed to the list of structures exempt from the maximum allowed structure size and number requirements in residential districts.

PROPOSAL DETAILS/ANALYSIS:

Fish House Exemption:

Definition. The definition of water-oriented accessory structure or facility in Lake Elmo’s City Code lists fish houses as an example of such a structure. Water-oriented accessory structures are exempt from setback regulations of the Shoreland Overlay District if certain provisions are met including not exceeding a height of ten feet, not being over 250 square feet in size, being set back at least ten feet from the Ordinary High Water Level (OHWL) on a recreational development lake and 50 feet from the OHWL on a natural environment lake, being treated to reduce visibility as viewed from public waters, must not be used for human habitation or contain water supply or sewage treatment facilities. The Code does not currently clearly define fish houses.

Restriction. Because fish houses are classified as accessory structures, regulations of accessory structures must be met. The Shoreland Ordinance allows only one water oriented structure per lot. By City Code, no accessory structure can be constructed or accessory use be located until a building permit has been issued for a primary structure on a lot. The Code provision is typical in cities in order to maintain control over use of properties for storage and to protect the City against a proliferation of unwanted storage structures.

Logic Behind Zoning District Restriction. Staff recommends that if an exemption for fish houses from the requirement of a principal structure is considered, the exemption should be restricted only to the RS - Rural Single Family Zoning District for a number of reasons. First, there are a number of lots in this zoning district that are non-conforming, and on which a house could not be built without a variance. Additionally, many of the lots in the RS District are located adjacent to a lake, and allowing fish houses to exist on lots without primary structures would allow owners who do not wish to construct a primary structure to enjoy recreation on the lake without having to haul their fish house to the lake each winter season.

Potentially-Affected Parcels. There are currently 221 parcels located in the Rural Single Family District on which a principal structure does not exist. 191 of these parcels are non-conforming lots in that they do not comply with the 1.5 acre minimum lot size the Rural Single Family Zoning District requires. A map is included as an addendum to this report to illustrate the locations of these parcels.

Regulation. Fish houses are considered accessory structures and therefore will require a Certificate of Zoning Compliance, as any accessory structure located on a property that does not require a building permit

requires this Certificate. It is at this time that Staff will be able to determine if most of the requirements of a fish house outlined in its definition are met. Of course, some requirements will not easily be determined, and there may be need for code compliance investigations if complaints are received or it is observed by the City that a property is in violation.

Potential Impacts. There are a number of potential impacts that may result from allowing fish houses to exist on parcels without primary structures. First, fish houses may be used solely as storage. Even though the definition outlines that they may not be used for storage, it is hard to know and regulate what occurs inside a structure that is not viewable from the street without going through the proper processes. Also, the design of fish houses is not regulated nor do they require a building permit, so the appearance, safety and durability of the structure are at risk. Section 154.406 of the Zoning Code requires that accessory structures are required to be similar or compatible with the design and construction of the principal building, but without a principal building, there is nothing by which its exterior appearance can be regulated. Additionally, it is hard to regulate fish houses from being used as dwellings, even though the definition does not allow this. On the other hand, allowing fish houses to be constructed/located on a lot without a primary structure would increase the utility of the lot for the owner without them having to go through a variance process and constructing a primary structure and could potentially benefit neighboring properties as adjacent lots can remain mostly vacant, increasing their peace and privacy. The extra requirements; that a fish house is located on a lot with direct access to a water body; maintains a current license with the Minnesota Department of Natural Resources regardless if it is left on a water body overnight; is 120 square feet or less; and complies with Shoreland regulations and RS Rural Single Family setback requirements, are intended to limit some of the potential impacts.

Requiring the Variance Process for an Accessory Structure to be Located Nearer to the Front Lot Line than the Principal Structure:

Variance Process. The Board of Adjustment has the power to grant variances to the provisions of this chapter under certain procedures and standards. All requests for variances shall be reviewed in accordance with the required findings. A public hearing is to be held by the Planning Commission, after which findings are considered and a recommendation is made to the Board of Adjustment. The current process of allowing accessory structures to be located nearer the front lot line than the principal structure does not follow this process outlined in Section 154.109: Variances of the Zoning Code.

History. Since 1993, Staff has found that approximately 29 approvals for accessory structures to be located nearer to the front line than the principal structures have been made by Resolution of City Council.

Storage or Tool Shed Definition:

This ordinance amendment was an opportunity to fix the definition of “Storage or Tool Shed” to align the square footage in the definition to the square footage threshold in the Building Code where building permits are required. Below 200 square feet, no building permits are required. In addition, the current text allows one Storage or Tool Shed per property in addition to the number of allowed accessory structures, but does not exempt them from the square footage requirements. The text and application of this is confusing and has not been correctly administered by Staff as a result. To remove the confusing language, Storage or Tool Sheds will be added to the structures exempt from the maximum allowed structure size and number requirements in residential districts.

FISCAL IMPACT:

Allowing fish houses to be located on lots in the absence of principal structures may increase the amount of time Staff spends in response to code compliance complaints as fish houses may be used for storage or habitation as is not allowed per the proposed ordinance.

Requiring the variance process for accessory structures to be located nearer to the front line than the principal structure may increase the amount of time Staff spends on such requests, though the cost of a variance is much higher than the cost of the request of Resolution by City Council (\$750.00 vs. \$200.00, respectively). The change may also reduce the number of requests.

RECOMMENDATION:

Staff recommends that the Planning Commission hold a public hearing and recommend approval to Ordinance ____ with the following motion:

“Move to recommend the City Council approve Ordinance __ pertaining to fishhouses, the exception to 154.406, Subd. D, and the definition of “Storage or Tool Shed.”

ATTACHMENTS:

- Draft Ordinance Amendment.
- Quick notes on other cities’ fish house requirements.
- Map depicting potentially affected parcels (fish house).

CITY OF LAKE ELMO
COUNTY OF WASHINGTON
STATE OF MINNESOTA

ORDINANCE NO. 08-

AN ORDINANCE AMENDING THE LAKE ELMO CITY CODE OF ORDINANCES BY EXEMPTING FISH HOUSES FROM REQUIREMENT THAT NO ACCESSORY STRUCTURE BE CONSTRUCTED PRIOR TO PRINCIPAL STRUCTURE ON LOT AND STRIKING LANGUAGE THAT ALLOWS ACCESSORY STRUCTURES TO BE LOCATED NEARER TO THE FRONT LINE THAN PRINCIPAL STRUCTURES BY RESOLUTION OF THE CITY COUNCIL

SECTION 1. The City Council of the City of Lake Elmo hereby amends Title I: General Provisions; Chapter 11: General Code Provisions by adding the following definition:

FISH HOUSE. A water-oriented structure meant to provide periodic shelter during the winter months while atop a frozen lake for use in fishing. A structure will be considered a fish house only if it is constructed with sleds, wheels or similar means to allow transport on to a frozen lake; is not used on land for human habitation; and is not used for boat storage.

SECTION 2. The City Council of the City of Lake Elmo hereby amends Title XV: Land Usage; Chapter 154: Zoning Code; Article 5. General Regulations; Section 213: Accessory Buildings and Structures, Generally; Subd. B: Definitions and Subd. D: Principle Structure Necessary to read the following:

- B. *Definitions.* The following words, terms and phrases, when used in this section, and all sections pertaining to accessory buildings or structures, shall have the meanings ascribed to them in this subsection, except where the context clearly indicates a different meaning:

Agricultural Farm Building. An accessory building used or intended for use on an active commercial food-producing farm operation of more than 20 acres. A Minnesota Pollution Control Agency permit may be required.

Detached Domesticated Farm Animal Building. A 1-story accessory building used or intended for the shelter of domestic farm animals and/or related feed or other farm animal supportive materials. The building may require a Minnesota Pollution Control Agency feedlot permit in addition to site and building plan approval.

Fish House. A water-oriented structure meant to provide periodic shelter during the winter months while atop a frozen lake for use in fishing. A structure will be considered a fish house only if it is constructed with sleds, wheels or similar means to allow transport on to a frozen lake; is not used on land for human habitation; and is not used for boat storage.

Detached Residential Accessory Building. A 1-story accessory building primarily used or intended for the storage of automobiles and other miscellaneous equipment. No door or other access opening shall exceed 14 feet in height.

Storage or Tool Shed. A 1-story accessory building of less than ~~460~~200 square feet gross area with a maximum roof height of 12 feet.

- C. *Permit Required.* All accessory building and structures require either a certificate of zoning compliance or a building permit as determined by the Minnesota State Building Code.
- D. *Principal Structure Necessary.* No accessory building or structures shall be constructed nor accessory use located on a lot until a building permit has been issued for the principal structure to which it is accessory. Fish houses as defined in this Code and located in the RS Rural Single Family District are exempt from this requirement provided the following criteria are met: must be located on a lot with direct access to a water body; must maintain a current Fishhouse license with the Minnesota Department of Natural Resources regardless if it is left on a water body overnight; is 120 square feet or less; and complies with Shoreland regulations and RS Rural Single Family setback requirements. One fish house per lot may exist without a principal structure.
- E. *Proximity to Principal Structure.* Accessory buildings shall maintain a six (6) foot setback from the principal structure. An accessory building or structure will be considered as an integral part of the principal building if it is located six (6) feet or less from the principal structure.
- ~~F. *Storage or Tool Sheds.* A storage or tool shed as defined in this section may be placed on any lot in addition to the permitted number of accessory buildings.~~
- F. *Exempt Structures.* The following residential improvements shall be exempt from the maximum allowed structure size and number requirements in residential districts:
 1. Unenclosed playhouses
 2. Gazebos up to a total of 120 square feet in size and a maximum of twelve (12) feet in overall height
 3. Detached decks over thirty (30) inches in height up to a total of 120 square feet in size
 4. Outdoor swimming pools
 5. Patios
 6. Tennis and sport courts
 7. Structures, sheds or coops up to a total of two hundred (200) square feet in size used to house permitted animals, such as chickens, horses, or other livestock. These structures must not exceed twelve (12) feet in height and must meet all required setbacks per MPCA guidelines and the City's animal ordinances.
 8. Water oriented accessory structures as permitted in accordance with the City's Shoreland Ordinance.
 9. One Storage or Tool Shed per residential lot.

SECTION 3. The City Council of the City of Lake Elmo hereby amends Title XV: Land Usage; Chapter 154: Zoning Code; Section 405: Accessory Uses and Structures to read the following:

- A. *Phasing.* No accessory use or structure shall be constructed or established on any lot prior to the time of construction of the principal use to which it is accessory.
- B. *Incidental to Principal Use.* The accessory use or structure shall be incidental to and customarily associated with the principal use or structure served.
- C. *Subordinate to Principal Use.* The accessory use or structure shall be subordinate in area, extent, and purpose to the principal use or structure served.

- D. *Function.* The accessory use or structure shall contribute to the comfort, convenience, or necessity of the occupants of the principal use or structure served.
- E. *Location.* The accessory use or structure shall be located on the same zoning lot as the principal use or structure.
- F. *Exemption.* Fish houses as defined in this Code and located in the RS Rural Single Family District are exempt from this requirement provided the following criteria are met: must be located on a lot with direct access to a water body; must maintain a current Fishhouse license with the Minnesota Department of Natural Resources regardless if it is left on a water body overnight; is 120 square feet or less; and complies with Shoreland regulations and RS Rural Single Family setback requirements. One fish house per lot may exist without a principal structure.
- G. *If a current Minnesota Department of Natural Resources Fishhouse License is not obtained for the structure, the structure must be removed from the property within 60 days.*

SECTION 4. The City Council of the City of Lake Elmo hereby amends Title XV: Land Usage; Chapter 154: Zoning Code; Section 404: Accessory Structures, Rural Districts., Subd. D to read the following:

- D. *Structure Location, Rural Districts.* No detached garages or other accessory buildings shall be located nearer to the front lot line than the principal building on that lot. ~~unless, by Resolution of the City Council, an exception is made to permit a detached garage or accessory structure nearer the front lot line than the principal building.~~

SECTION 5. Effective Date. This ordinance shall become effective immediately upon adoption and publication in the official newspaper of the City of Lake Elmo.

SECTION 6. Adoption Date. This Ordinance 08-___ was adopted on this ____ day of _____, 2016, by a vote of ___ Ayes and ___ Nays.

LAKE ELMO CITY COUNCIL

Mike Pearson, Mayor

ATTEST:

Julie Johnson, City Clerk

This Ordinance 08-____ was published on the ____ day of _____,
2016.

Pequot City:

102. **Fish House.** A structure placed on a lake during the winter for use in fishing. A structure will only be considered a fish house if it is 160 square feet or less, is moveable and has a current license.

Oronoco:

Defines gazebos, screen houses, **fish houses**, pump houses, and detached decks as accessory structures

Brianer:

Water-oriented accessory structure or facility" means a small, above ground building or other improvement, except stairways, fences, docks, and retaining walls, which, because of the relationship of its use to a surface water feature, reasonably needs to be located closer to public waters than the normal structure setback. Examples of such structures and facilities include boathouses, gazebos, screen houses, fish houses, pump houses, and detached decks.

515-17-2: Dwelling Unit Restriction. No cellar, garage, tent, travel trailer, motor home, fish house, basement with unfinished structure above, or accessory building shall at any time be used as a dwelling unit.

Mounds View:

Ordinance allows the storage of fish houses in residential front yard areas.

East Bethel:

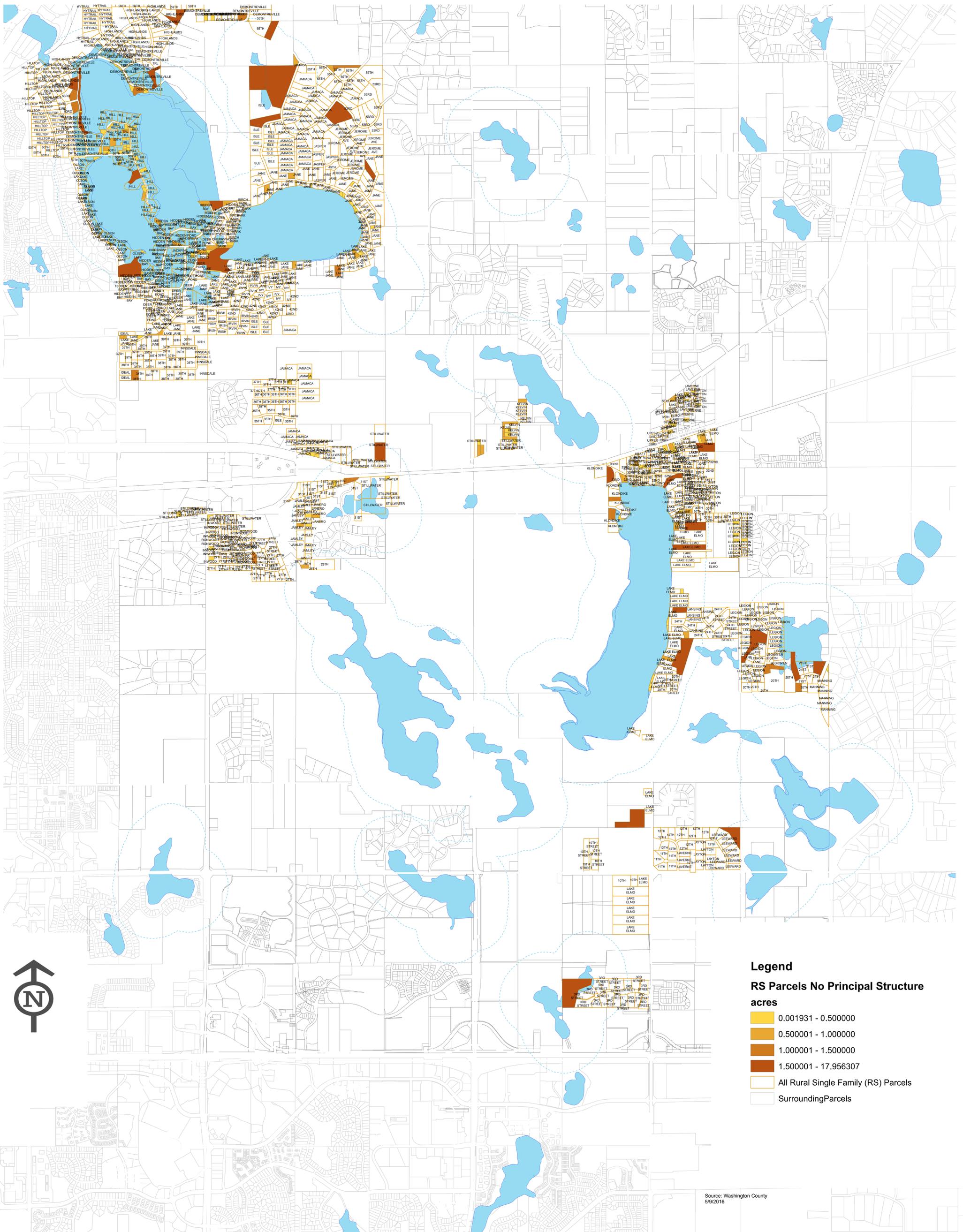
Fish houses shall be included in the calculation of the gross maximum square footage for detached accessory structures. No more than one fish house shall be permitted on a lot. Fish houses must meet all required accessory structure setbacks.

Chanhassen:

Water-oriented structures (e.g. boathouses, gazebos, screen houses, fish houses, etc.) must maintain the minimum 10-foot setback from the ordinary high water mark. Water-oriented structures are permitted to be a maximum of 250 sq. ft., 10 ft. in height, and must not occupy more than 30% of the rear yard.

Rural Single Family Lots - No Principal Structure

This map outlines parcels located in the Rural Single Family Zoning District on which a principal structure is not currently located. It also depicts the size of such parcels through color grading.



Legend

RS Parcels No Principal Structure

acres

- 0.001931 - 0.500000
- 0.500001 - 1.000000
- 1.000001 - 1.500000
- 1.500001 - 17.956307
- All Rural Single Family (RS) Parcels
- Surrounding Parcels