



Lake Elmo City Hall
651-747-3900
3880 Laverne Avenue
North Lake Elmo, MN
55042

DRIVEWAY/APPROACH PERMIT APPLICATION

Applicant Type: [] Architect/Engineer [] Contractor [] Owner

Project Address:
Property Owner: Phone #:
Address: Lot: Block:
Subdivision: Email Address:

Applicant:
Address: City/State/Zip:

Current City License? [] Yes [] No (City of Lake Elmo Contractor License is required. Application and \$50.00 fee are required. Application can be found online at www.lakeelmo.org/building-permits-zoning-applications)

Phone #

Email Address:

Class of Work: (check one) New Driveway Replacement Driveway (As-Is) Parking Area
Replacement Driveway/Expansion Other (Explain)

Please provide the following:

- Site Plan (can use attached diagram) including:
Setbacks Verified Property Lines Verified
Expansion Area(s) Shown (if applicable) Relationship of Driveway to Structure(s) on Site Shown
If driveway is new or this is an expansion, impervious surface calculations for entire lot are needed.
Type of Material (Check One): Asphalt Concrete Pavers Other
Job Valuation: & Estimated Completion Date:

- 1. Will work involve installing a new curb cut? Yes No
2. Will Work involve changing the size or location of the current curb cut? Yes No
3. Will the work involve the installation or replacement of a public sidewalk? Yes No
4. Is the driveway approach setback to the side property line less than 5 feet? Yes No
5. If yes to #4, is the approach a shared access? Yes No
6. Are there currently any curb stops or utility cleanouts in the driveway and/or approach? Yes No
If yes to #6, pipe inspection and cover required. Call Public Works at 651-747-3940. Yes No
7. Type of approach material: Asphalt Concrete Pavers

I hereby apply for a driveway approach permit and I acknowledge that the information above is complete and accurate; that the work will be in conformance with the ordinances and codes of the City of Lake Elmo. I understand this is not a permit but only an application for a permit and work is not to start without a permit; that the work will be in accordance with the approved plan in the case of all work which requires review and approval of plans.

Applicant Signature: _____ Date: _____

City Use Only

Zoning District: _____ Width 12'-26' (Res.) or 20-34' max. (Comm.)?: Y__ N__ 90° Angle: Y__ N__
Correct Dist. from Intersection (50 HDR, Comm., and Mixed Use, 20 all other districts)? Y__ N__ N/A__
Grade < 10% Y__ N__ Urban Dist.: Paved? Y__ N__ Rural Dist.: ROW paved? Y__ N__ 5' from prop. Line? Y__ N__
Encroachment Agreement needed? Y__ N__ Common access agreement needed? Y__ N__ N/A__

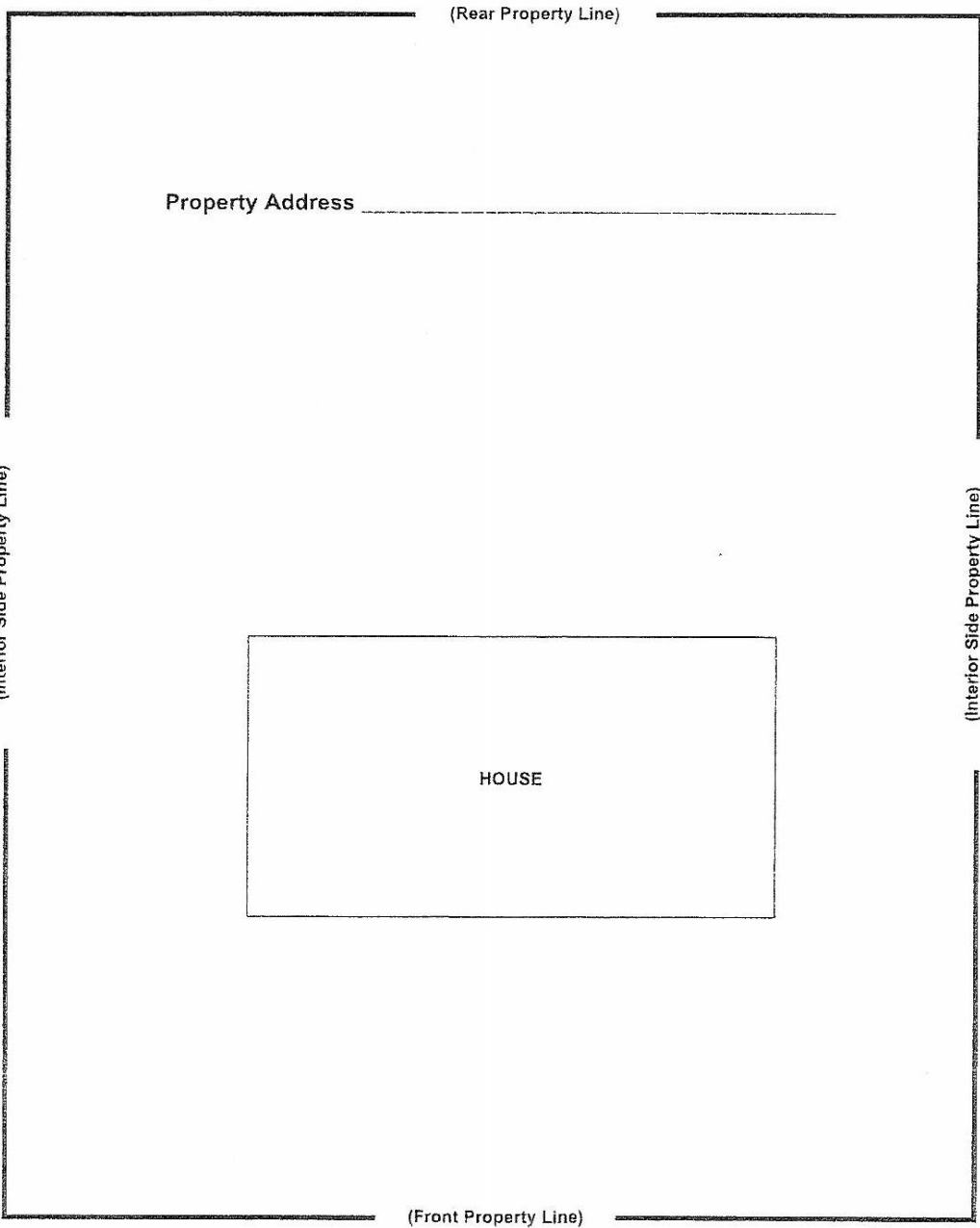
Engineering Review Required? Y__ N__
Other fees? Y__ N__ Describe _____ Amount \$ _____
Double fee? Y__ N__

Planning: Reviewed by: _____ Date: _____
Subject to the following conditions: _____

Engineering: Reviewed by _____ Date: _____
Subject to the following conditions: _____

!To schedule an inspection, call 651-747-3900

Please indicate on the diagram below the location of the driveway, its width, and its distance from the nearest property line.



Curb ↑

DRIVEWAY REQUIREMENTS

PERMIT REQUIREMENTS.

No driveway shall be constructed in any location where motor vehicles will be provided with access to any public right-of-way without first obtaining a permit for construction. Prior to the issuance of the permit, the provisions of this subchapter shall be complied with.

APPLICATION.

Each application for a permit shall have thereon the correct legal description of the property and a drawing of the land showing the location of the proposed driveway with respect to the boundary lines of the property. The written application shall describe the project along with a site plan that indicates that the requirements of this subchapter are met.

PERMIT FEES.

The permit fees shall be set in the city's Fee Schedule by ordinance by the City Council.

PERMIT REVOCATION.

The permit issued may be revoked by the city at any time after its issuance for failure to comply with the conditions of the permit or the directions of the city relative to the work covered by the permit.

GENERAL REQUIREMENTS.

(A) *Licensed contractor.* All work done within the right-of-way of the street shall be done by a city licensed contractor as specified in Chapter 115 of the City Code.

(B) *Site plan.* Prior to the construction of a driveway, a scaled plan must be submitted which indicates the location and specifications for driveways and curb cuts, the widths and dimensions at the street, property line and building structure, the slope of the driveway, and the location of the curb box as applicable in accordance with §§ 93.20 *et seq.*

DRIVEWAY STANDARDS.

The following regulations shall apply to all driveways and curb cuts. All driveway work shall be constructed in accordance with the approved site plan. No deviations or changes shall be made in the field without first obtaining permission from the city.

(A) *Driveway width.* All driveways shall conform to the following requirements:

(1) *Residential districts.*

(a) *Minimum width.* All driveways shall have a minimum width of 12 feet.

(b) *Maximum width.* All driveways shall have a maximum width of 26 feet within the public right-of-way. In the absence of platted right-of-way, the setback at which point the driveway width is measured shall be established by the prescriptive easement as determined by the City Engineer. Increased driveway width in the public right-of-way up to commercial standard (34 feet) will be considered for active farms or agricultural properties.

(c) *Curb cut.* A curb cut must not exceed the width of the driveway approach at the property line by more than 10 feet.

(2) *Commercial and mixed-use districts.*

(a) *Minimum width.* All driveways shall have a minimum width of 20 feet.

(b) *Maximum width.* All driveways shall have a maximum width of 34 feet at the right-of-way line.

(c) *Curb cut.* Must not exceed the width of the driveway approach at the property line by more than 10 feet.

(B) *Vertical clearance.* There must be 14 feet of vertical clearance above all driveways.

(C) *Number of curb cuts.* In residential districts, each property shall be limited to 1 curb cut per dwelling unit. Exceptions may be allowed when neither access is onto a major street, and when the lot exceeds 150 feet in width or is a corner lot. All requests for a second curb cut shall be reviewed by the City Engineer.

(D) *Distance between driveways.* The minimum distance between curbs of driveways at right-of-way line shall be 10 feet in any residential district. Lots that have been developed with zero lot line setbacks may be exempt from this provision. In all other districts, the minimum distance shall be 20 feet.

(E) *Distance from intersection.* No driveway or curb cut shall be less than 20 feet from any right-of-way line of any street intersection, except that in high density residential, commercial and mixed-use zoning districts, the minimum distance shall be 50 feet.

(F) *Driveway angle.* All driveways shall connect to the public street at 90 degree angles, or must be approved by the City Engineer. Exceptions must demonstrate an inability to meet the 90 degree angle due to extenuating circumstances.

(G) *Driveway grade.* Driveways exceeding a grade of 10% must be approved by the City Engineer. Exceptions must demonstrate an inability to meet the 10% maximum grade due to extenuating circumstances.

(H) *Driveway materials.*

(1) *Urban districts.* All driveways shall be constructed of hot mix bituminous asphalt, concrete or a durable material approved by the City Engineer.

(2) *Rural districts.* Driveways may be constructed of crushed rock or equivalent crushed material provided that the portion of the driveway within the road right-of-way shall be constructed of hot mix bituminous asphalt, concrete or a durable material approved by the City Engineer when the driveway is accessing an improved street.

(I) *Curb box, residential districts.* Curb boxes located within driveway shall be protected with an A1 Ford Lid or approved equal.

(J) *Control of traffic.*

(1) Where other alternatives exist, commercial sites should not be accessed from local residential streets.

(2) Traffic shall be controlled to ensure that the location of driveways shall not constitute a hazard nor be injurious to adjacent residential uses.

(K) *Access to major streets (thoroughfares).* On properties having frontage on both thoroughfares and minor roads, access shall be provided via the minor road unless otherwise approved by the City Engineer. Access may be restricted on any non-residential local road. The number and types of access drives onto major streets may be controlled and limited in the interests of public safety and efficient traffic flow.

(L) *State and county highway requirements.* Driveways constructed to access any street designated as a state or county highway shall meet all additional specifications of the appropriate jurisdiction. Access drives onto state and county roads shall require a review by the road authority and the City Engineer. The state, county and City Engineer shall determine the appropriate location, size and design of such access drives and may limit the number of access drives in the interest of public safety and efficient traffic flow.

(M) *Distance from driveways to side lot line.* A driveway must be at least 5 feet from any side lot line.

(N) *Emergency vehicle access.* Driveways to principal structures that traverse wooded, steep or open field areas shall be constructed and maintained to a width and base material depth sufficient to support access by emergency vehicles.